

Village of North Hudson

Application for MAJOR SUBDIVISION Approval

**Instructions:** Complete the application and submit with the following: Filing Fee, Escrow Fee, Assessment Fee, preliminary plat or final plat, and any other supporting documents. Incomplete applications and fees will not be processed.

**Type of Application:**

- Preliminary Plat for Major Subdivision  
 Final Plat for Major Subdivision  
 Extraterritorial Area

- 
1. Applicant Name: DCCI Investments, LLC  
Address: 1505 WI 65, New Richmond, WI 54017  
Home/Office Phone: \_\_\_\_\_ Cell Phone: (612) 599-4244  
Contact Person: Ron Derrick
2. Owner of Record: same as above  
Address: \_\_\_\_\_ Phone: \_\_\_\_\_
3. Project Engineer/Surveyor: Auth Consulting & Assoc.  
Address: 2920 Enloe St, 101 Phone: 715-381-5277
4. Location of subdivision and Parcel Identification Number: The Ridges Subdivision  
12.29.20.2239-2 & 12.29.20.2354
5. Total acreage (43,560 sq ft/acre) \_\_\_\_\_ or square feet \_\_\_\_\_
6. Number of lots proposed: 32
7. Current Zoning: planned development district  
Is rezoning anticipated?: No Resulting new zoning: \_\_\_\_\_
8. Are variances anticipated or required? Please explain None anticipated
-

9. Are there existing or planned restrictive covenants on property? Please explain \_\_\_\_\_  
Yes. Previously recorded covenants included in submittal

10. Are any major village improvements required? (water or sewer facilities) \_\_\_\_\_  
Water, sanitary sewer, stormsewer, streets.

11. Park land dedication:

a. Describe location/show on map: Previously dedicated.

b. Cash in lieu of land? \_\_\_\_\_

c. Deferral of land dedication? Please explain \_\_\_\_\_

12. Improvements: Costs borne by subdivider or secured by:

a. Performance bond? \_\_\_\_\_ Please explain: \_\_\_\_\_

b. Other? \_\_\_\_\_ Please explain: \_\_\_\_\_

c. Improvements required? \_\_\_\_\_

d. Improvements to be completed by \_\_\_\_\_ or security due \_\_\_\_\_

(date)

(date)

13. Other considerations: \_\_\_\_\_

Applicants

Signature: [Signature]

Date: 5.31.2019

Office Use Only:

Date Filed: 5/31/19

Filing Fee Paid: \$ 260

Escrow Fee Paid: \$ 17,800

Assessment Fee Paid: \$ —

Notification sent to adjacent landowners: \_\_\_\_\_

Published in paper: \_\_\_\_\_

Date of Public Hearing: \_\_\_\_\_



engineers | architects | planners | environmental specialists  
land surveyors | landscape architects | interior designers

## MEMO

604 Wilson Avenue  
Menomonie, WI 54751  
715-235-9081  
800-472-7372  
FAX 715-235-2727

**DATE:** June 13<sup>th</sup>, 2019  
**TO:** Village of North Hudson Plan Commission Members  
**FROM:** Kevin Oium, Village Engineer  
**REGARDING:** Preliminary Plat Review for The Ridges 2<sup>nd</sup> Addition

We have reviewed the preliminary plat and construction plans for The Ridges 2<sup>nd</sup> Addition subdivision in the Derrick Development. We provide the following comments and recommendations pursuant to the Municipal Code and standard engineering practices:

1. A developer's agreement shall be prepared and executed between the developer and Village which outlines the terms and conditions of the subdivision prior to commencing construction.
2. All public improvements that are constructed by the developer shall carry a two year warranty, running in favor of the Village from the date of final acceptance by the Village.
3. All appropriate Village, St. Croix County Planning & Zoning and WisDNR approvals shall be obtained and forwarded to the Village prior to commencing construction.
4. Construction specifications shall be provided to the Village for review prior to commencing construction.
5. Does fire or EMS have any issues with the street name of 10<sup>th</sup> Street with Adam Drive being to the north in the Town of Hudson?
6. Stormwater management and parkland dedication have already been addressed with previous improvements.
7. Street light locations along with details shall be provided for review.
8. Provide a mass grading plan showing the grades for the streets, sidewalks, twin homes, driveways and walking paths.
9. Provide sizing calculations for the proposed storm sewer.

ORIGINAL

Filed 6/14/19

*GENERAL DEVELOPMENT PLAN  
NARRATIVE*

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The Ridges 2<sup>nd</sup> Addition

Village of North Hudson, Wisconsin

Updated 6/13/2019

ACA JOB NUMBER 5008-048

Prepared For:

DCCI Investments, LLC

Ron Derrick

PO Box 445

New Richmond, WI 54017

Prepared by:

■ *Auth•Consulting & Associates - AC/a*

Planning, Engineering, Building Design & Surveying

2920 Enloe Street, Suite 101, Hudson WI 54016

Hudson Office: 715-381-5277

Corporate Office: 715-232-8490

[www.authconsulting.com](http://www.authconsulting.com)

## OVERVIEW/LOCATION

The Ridges 2<sup>nd</sup> Addition is part of the overall Ridges development. The project will consist of twin home units. The builder of the twin homes will be Derrick Homes, LLC.

### Criteria Per 98-35(g) Village Code

(1) A statement describing the general character of the intended PDD district, including a rationale and economic development plan consistent with existing and future public services which encourage and facilitate preservation of open land.

This project is part of the overall original approved Planned Development District (PDD) - The Ridges Subdivision. The development will consist of The Ridges 2<sup>nd</sup> and 3<sup>rd</sup> Additions. The 2<sup>nd</sup> Addition will be 16 twin home buildings- thirty-two lots. The 3<sup>rd</sup> Addition is a future phase and is currently planned for 20 single family homes. Pending approvals, construction of the public improvements for the 2<sup>nd</sup> Addition would occur in Fall of 2019.

(2) An accurate map of the project area, including its relationship to surrounding properties and existing topography, key features, and proposed building locations, height, and bulk.

Project area is shown on the site plan, sheet C3.0. The Existing Conditions, Sheet C2.0 details the existing topography.

(3) A plan of the proposed project showing sufficient details to make possible the evaluation of the criteria for approval as set forth in subsection (h) of this section.

Engineering plans have been submitted detailing the information for evaluation of subsection (h).

(4) The pattern of proposed land use, including shape, size, and arrangement of proposed use area, density, and environmental character, and their relationship to adjoining parcels of land within 600 feet of the district's boundaries.

The pattern of proposed land use consists of twin home lots. Property to the North of the proposed subdivision is rural residential property. The property consists of wooded township lots. The property to the South and West is the original phase of the Ridges and consists of single family homes with twin homes at the entrance into the subdivision. The property to the East is undeveloped land that is partially wooded. This property is annexed into the Village and zoned RS. A park is located immediately to the West of the 2<sup>nd</sup> Addition. The park has parking, trails, playground facilities- including a basketball court and a small pavilion.

(5) The pattern of existing and proposed streets, driveways, walkways, and parking facilities.

10<sup>th</sup> Street North will be extended from Vail Way North on the South to connect with Adam Drive on the North. Sidewalk will be included on the West side of 10<sup>th</sup> Street North. See sheet C3.0. This will connect to a pathway that terminates at the park. This pathway will also provide future connectivity to the parcel to the East.

(6) The location, size, and character of recreational and open space areas reserved or dedicated for public uses, such as schools, parks, green spaces, etc.

An existing park, which was dedicated as part of The Ridges is located immediately to the West of the 2<sup>nd</sup> Addition. The park is approximately 4.9 acres.

(7) The plans for utility services and surface water drainage.

Water and sanitary sewer is available and has been sized to accommodate the 2<sup>nd</sup> Addition development. The surface water drainage is accounted for in the regional ponding system in the park.

(8) Appropriate statistical data on the size of the development, ratio of various land uses, percentages of multifamily units by number of bedrooms, expected staging of development, and any other plans or data pertinent to evaluation by the village under the criteria of subsection (h) of this section.

32 Lots  
16 Buildings  
7.10 Acres  
30' Front Yard Building Setback  
25' Rear Yard Building Setback  
20' Corner-Side Yard Building Setback  
10' Side Yard Building Setback  
0' Common Lot line  
2 Bedrooms Main Level (anticipated)  
Fall 2019 Roadway Construction  
Fall 2019 Begin Building Construction  
1027 feet of Right-of-Way Dedication

Note: All building setbacks are to building foundation

(9) A general outline of the intended organizational structure related to property owners' associations, deed restrictions, and provision for common private services.

Draft covenants have been included. The Ridges 2<sup>nd</sup> Addition will have a homeowner's association that will provide common yard maintenance and driveway snow removal.

(10) Analysis of economic impact upon the village and surrounding community.

It is anticipated that the 32 units will provide an annual tax base of approximately \$160,000. City services and costs will be typical or less than those of other single-family subdivisions in the Village. It is anticipated that many of the units will be occupied by empty-nesters, so the demand on the school system is anticipated to be lower than typical single-family subdivision. In addition, based on the anticipated demographics, it is anticipated that the demand on City services including water, sewer and roadway would be slightly less than a typical single-family subdivision.



Ronald L. Derrick  
Managing Member  
DCCI Investments, LLC.



# THE RIDGES 2ND ADDITION PRELIMINARY PLAT

PART OF THE NE 1/4 OF THE SE 1/4, AND PART OF THE SE 1/4 OF THE SE 1/4, OF SECTION 12, T29N, R20W, VILLAGE OF NORTH HUDSON, ST. CROIX COUNTY, WISCONSIN.

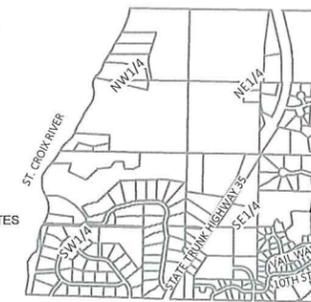
ORIGINAL

Filed 6/14/19

LOCATION SKETCH  
SECTION 12, T29N, R20W

PREPARED FOR:  
DCCI  
P.O. Box 445  
New Richmond, WI 54017  
715-243-0529

PREPARED BY:  
TY DODGE, LAND SURVEYOR  
MATT HIEB, ENGINEER  
AUTH CONSULTING/ASSOCIATES  
2920 ENLOE ST. STE. 101  
HUDSON, WI 54016  
(715) 386-2007



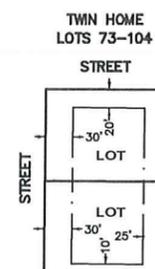
### LEGEND

- FOUND ALUMINUM COUNTY SECTION CORNER MONUMENT
- FOUND IRON PIPE
- INTERMEDIATE CONTOUR
- INDEXED CONTOUR
- 10' WIDE UTILITY EASEMENT

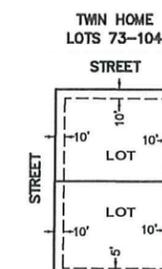
### LOT INFORMATION

ZONING: PLANNED DEVELOPMENT DISTRICT  
PROPOSED STREET LENGTH TO BE CONSTRUCTED THIS PHASE: 937 L.F.  
TOTAL AREA THIS PHASE: 7.10 ACRES  
32 TWIN HOME LOTS  
SETBACKS(MEASURED TO WALL)  
TWIN HOME LOTS  
30' FRONT  
25' REAR  
10' SIDE  
20' CORNER SIDE  
0' COMMON LOT LINE

### BUILDING SETBACKS TYPICAL (NOT TO SCALE)



### UTILITY AND DRAINAGE EASEMENT TYPICAL (NOT TO SCALE)



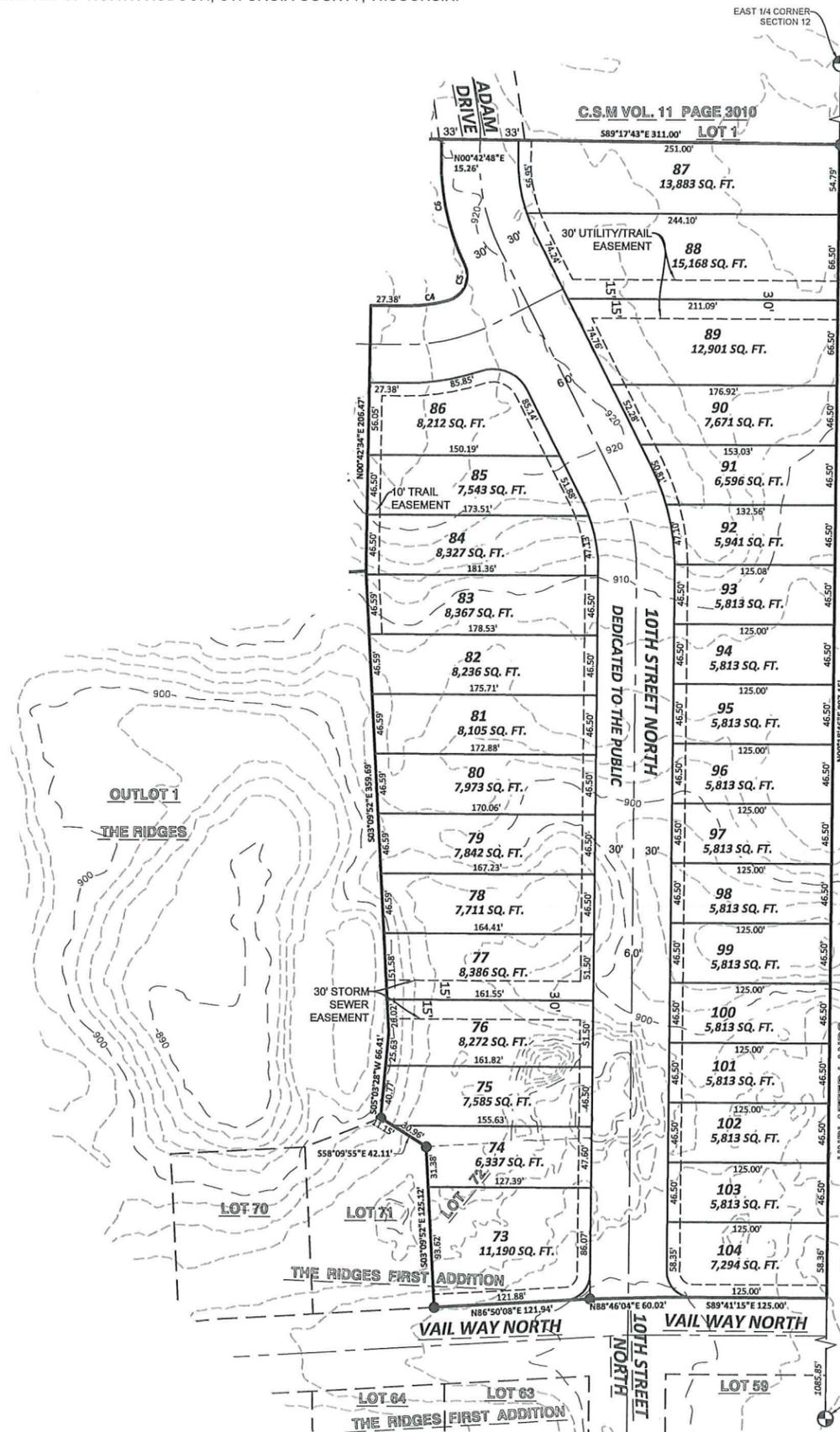
CURVE DATA TABLE							
NUMBER	RADIUS LENGTH	CENTRAL ANGLE	CHORD BEARING	CHORD LENGTH	ARC LENGTH	TANGENT IN	TANGENT OUT
C4	120.00'	16°03'24"	N82°41'06"E	33.52'	33.63'	S89°17'12"E	N74°39'24"E
C5	20.00'	101°32'13"	N23°53'17.5"E	30.98'	35.44'	N74°39'24"E	N26°52'49"W
C6	180.19'	26°56'52"	N12°46'05"W	83.97'	84.75'	S26°14'31"E	S0°42'21"W

I hereby certify that this survey was prepared by me or under my direct supervision, that it is true and correct to the best of my knowledge and belief, and that I am a registered land surveyor under the laws of the State of Wisconsin.

Ty R. Dodge  
Date: 06/13/19



06/13/19



ELEVATIONS SHOWN ARE NAVD 1988 DATUM.

TOPOGRAPHY DERIVED FROM ST. CROIX COUNTY LIDAR DATA SUPPLEMENTED WITH FIELD SURVEY IN CRITICAL AREAS.

BEARINGS ARE REFERENCED TO THE ST. CROIX COUNTY COORDINATE SYSTEM



PROJECT:	THE RIDGES 2ND ADDITION
DCCI	
VILLAGE OF NORTH HUDSON, ST. CROIX COUNTY, WISCONSIN	
PRELIMINARY PLAT	
SHEET NO.	1 OF 1

DRAWN BY:	MDH
CHECKED BY:	MDH
DATE:	5/16/19
DWG FILE:	5008-048-Final Plat-REVISED
FOR CONSTRUCTION	5008-048
AS-BUILT DOCUMENT	5008-048

BLANCH OFFICE	2920 Enloe Street
	Suite 101
	Hudson, WI 54016
	Tel: 715-381-9877
CORPUS OFFICE	406 Technology Drive East
	Suite A
	Menomonie, WI 54751
	Tel: 715-232-9490
	authconsulting.com

**A.C.A.**  
Auth-Consulting/associates  
S&M Land Surveying & Construction of & Co

# THE RIDGES 2ND ADDITION

## DCCI

ORIGINAL *filed 6/14/19*

### VILLAGE OF NORTH HUDSON, ST. CROIX COUNTY, WISCONSIN



- CONSTRUCTION NOTES**
1. CONTRACTOR SHALL NOTIFY UTILITIES AND HAVE ALL UTILITIES LOCATED PRIOR TO ANY EXCAVATION.
  2. CONTRACTOR SHALL SALVAGE AND REPLACE TOPSOIL IN ALL DISTURBED AREAS.
  3. NO TREES OR SHRUBS TO BE REMOVED WITHOUT THE PRIOR APPROVAL OF THE OWNER.
  4. CONTRACTOR SHALL MAINTAIN TRAFFIC ACCESSIBILITY ALONG PROJECT.
  5. SALVAGED MATERIALS TO BECOME PROPERTY OF THE OWNER.
  6. CONTRACTOR SHALL MECHANICALLY COMPACT ALL TRENCHES UNDER ALL PAVED, CONCRETE, GRAVEL AND BUILDING PAD AREAS.
  7. ALL TOPSOIL, ORGANIC AND UNSUITABLE MATERIAL TO BE REMOVED BEFORE FILL MATERIAL IS PLACED. NO ORGANIC, UNSUITABLE OR FROZEN MATERIAL TO BE PLACED IN FILL AREAS. ALL FILL MATERIAL AND ENGINEERED FILL TO BE MECHANICALLY COMPACTED AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER.
  8. APRON ENDWALLS REQUIRED ON ALL ENDS OF STORM SEWER. PIPE LENGTHS INCLUDE APRON ENDWALLS.

**CONVENTIONAL SYMBOLS**

	BOUNDARY PROPERTY LINE
	PROPOSED R.O.W.
	PROPOSED LOT LINES
	PROPOSED BIT
	PROPOSED GRAVEL
	PROPOSED CULVERT/PIPE
	DRAINAGE EASEMENT
	EXISTING TREELINE
	EXISTING FENCE
	SILT FENCE
	EROSION CONTROL MAT

**UTILITY CONTACTS**

DIGGERS HOTLINE 1-800-242-8511	ST. CROIX ELECTRIC COOPERATIVE 1925 RIDGEWAY STREET HAMMOND, WI 54015 ROD DOOLEY 715-786-5637 ROBD@SCENET.NET
VILLAGE OF NORTH HUDSON PATRICK MOOS PUBLIC WORKS SUPERVISOR 400 7TH STREET NORTH NORTH HUDSON, WI 54016 715-386-1730 PMOOS@NORTHHUDSONVILLAGE.ORG	AT&T DISTRIBUTION 304 S. DEWEY STREET EAU CLAIRE, WI 54701 RICK PODOLAK, MGR. DESIGN ENG. 715-839-5565 RP4514@ATT.COM
HUDSON WATER & SEWER UTILITY KIP PETERS DIRECTOR 505 THIRD STREET HUDSON, WI 54016 715-386-4760	SCHOOL DISTRICT OF HUDSON 644 BRAKKE DRIVE HUDSON, WI 54016 MARY BOWEN-EGGEBRAATEN SUPERINTENDENT OF SCHOOLS 715-232-7412 BOWENM@HUDSON.K12.WI.US
COMCAST 2611 FAIRVIEW AVE N ROSEVILLE, MN 55113 SCOTT RUPPERT, CONSTR. REP 651-493-5127 SCOTT_RUPPERT@CABLE.COMCAST.COM	

### LOCATION MAP

N.T.S.

CONTACTS	
PROJECT ENGINEER/SURVEYOR AUTH CONSULTING & ASSOCIATES 715-381-5277	OWNER DCCI RON DERRICK 715-243-0529
VILLAGE ENGINEER KEVIN OIUM CEDAR CORP. 715-235-9081	



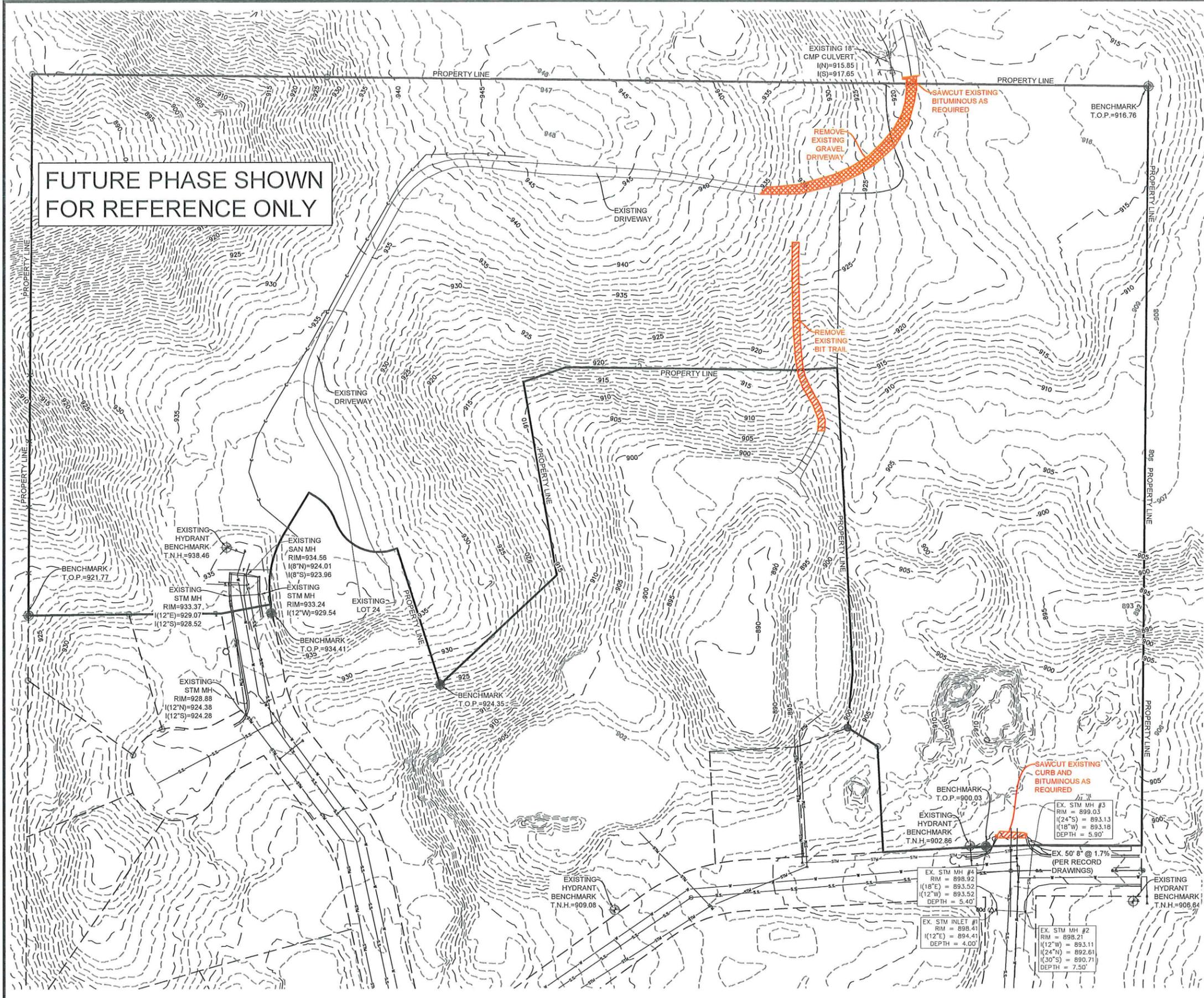
**SHEET INDEX**

SHEET	SHEET DESCRIPTION
C1.0	TITLE SHEET
C2.0	EXISTING SITE AND DEMO PLAN
C3.0	SITE PLAN
C4.0	PLAN AND PROFILE
C5.0	GRADING PLAN
C6.0	EROSION CONTROL PLAN
C7.0	OVERALL UTILITY PLAN
C7.1	SANITARY SEWER PLAN
C7.2	WATERMAIN PLAN
C7.3	STORM SEWER PLAN
C8.0-C8.3	DETAILS

PROJECT: THE RIDGES 2ND ADDITION DCCI VILLAGE OF NORTH HUDSON, ST. CROIX COUNTY, WISCONSIN	DRAWING PHASE:	OWNER REVIEW	AGENCY REVIEW	BID DOCUMENT	FOR CONSTRUCTION	AS-BUILT DOCUMENT
	DRAWN BY: DCK	CHECKED BY: MDH	DATE: 5/16/19	DWG FILE: C1.0Title	REF FILE: 5008-048	JOB NUMBER: 5008-048
SHEET NO. <b>C1.0</b>	AUTH CONSULTING & ASSOCIATES 408 Technology Drive East Suite A Menomonie, WI 54751 Tel 715-232-9400 Fax 715-381-5277 authconsulting.com AUTH CONSULTING & ASSOCIATES SELF Insd Surveying & Division of a/c/a					
	PRELIMINARY PLAT SUBMITTAL MDH 6/13/19 REVISION DESCRIPTION: NAME:					

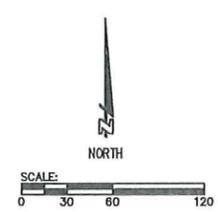
FUTURE PHASE SHOWN FOR REFERENCE ONLY

LEGEND	
	EXISTING 5FT CONTOURS
	EXISTING 1FT CONTOURS
	PROPERTY BOUNDARY LINE
	EXISTING CURB
	EXISTING UNDERGROUND ELECTRIC
	EXISTING FIBER OPTIC LINE
	EXISTING SANITARY SEWER
	EXISTING STORM SEWER
	EXISTING WATER LINE
	EXISTING FENCE
	DEMO CURB
	DEMO PAVEMENT
	DEMO GRAVEL DRIVEWAY
	BENCHMARK
	EXISTING PROPERTY IRON
	EXISTING FENCE POST
	EXISTING ELECTRIC PEDESTAL
	EXISTING TELEPHONE PEDESTAL
	EXISTING STORM INLET
	EXISTING SANITARY SEWER MANHOLE
	EXISTING HYDRANT AND VALVE
	EXISTING CURB STOP

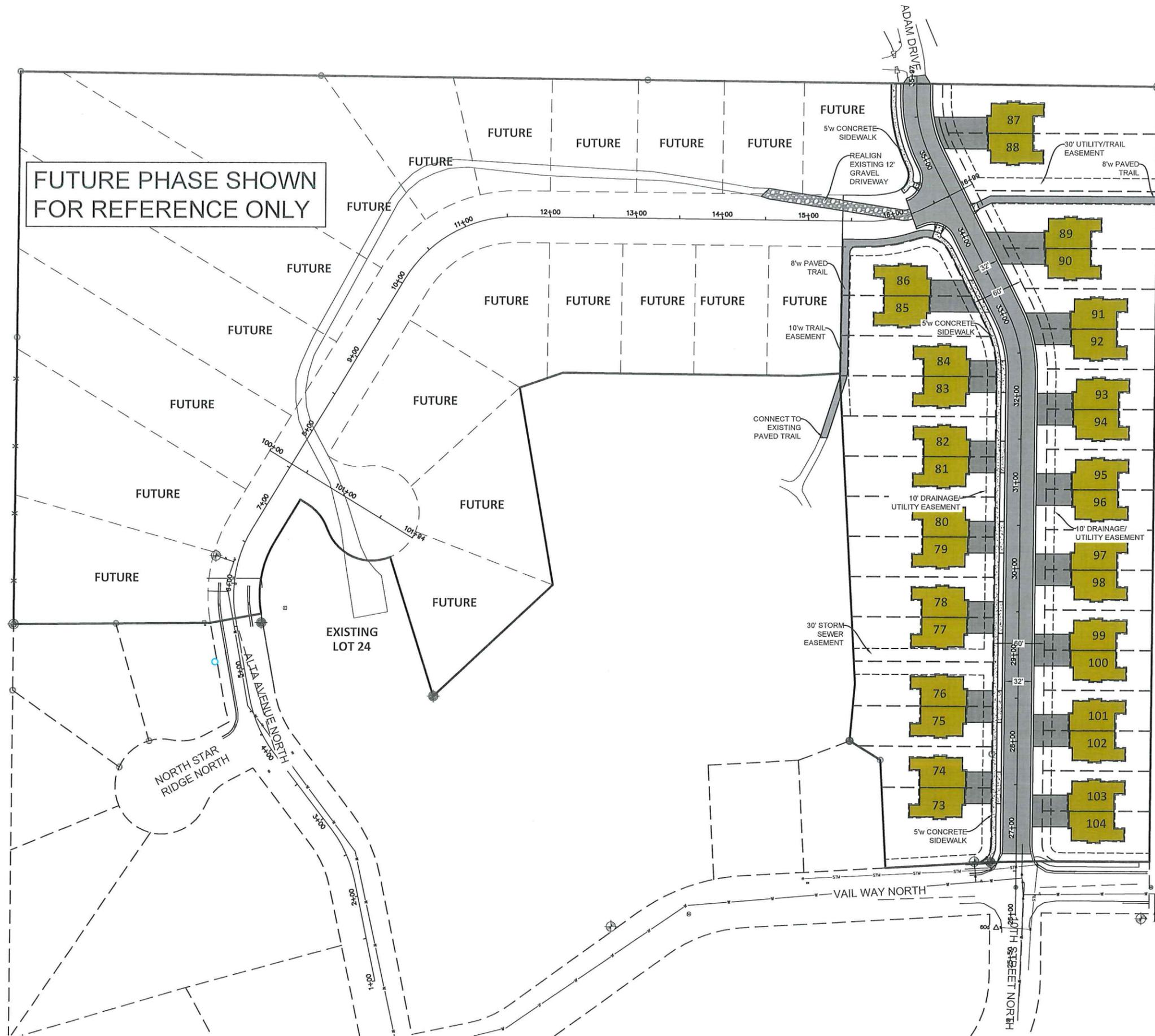


**EXISTING SITE CONDITION NOTE**  
 EXISTING CONDITIONS SHOWN ARE BASED ON TOPOGRAPHY INFORMATION PROVIDED BY AUTH CONSULTING & ASSOCIATES, AND ST. CROIX COUNTY LIDAR DATA. CONTRACTOR TO FIELD VERIFY ALL EXISTING SITE CONDITIONS FOR ACCURACY PRIOR TO ANY DEMOLITION, EXCAVATION, OR CONSTRUCTION ACTIVITIES COMMENCING.

		<b>Auth-Consulting/associates</b> <small>Soil Land Surveying &amp; Division of A/C/A</small>	
<b>PROJECT:</b> THE RIDGES 2ND ADDITION DCCI VILLAGE OF NORTH HUDSON, ST. CROIX COUNTY, WISCONSIN	<b>SHEET NO.</b> C2.0	<b>DRAWING PHASE:</b> OWNER REVIEW AGENCY REVIEW BID DOCUMENT FOR CONSTRUCTION AS-BUILT DOCUMENT	<b>DRAWN BY:</b> CHECKED BY: MDH DATE: 5/16/19 DWG FILE: C2.0-Ex Site REF FILE: 500B-04B JOB NUMBER: 500B-04B
<b>BRANCH OFFICE:</b> 2920 Balise Street Suite 101 Hudson, WI 54618 Tel: 715-381-5877		<b>CORPORATE OFFICE:</b> 408 Technology Drive East Suite A Monona, WI 53651 Tel: 715-232-0400 authconsulting.com	
<b>DATE:</b> 6/13/19		<b>REVISION DESCRIPTION:</b>	



FUTURE PHASE SHOWN FOR REFERENCE ONLY



LEGEND	
	PROPERTY LINE
	PROPOSED LOTLINE
	PROPOSED DRAINAGE/UTILITY EASEMENT
	PROPOSED RIGHT OF WAY
	PROPOSED BUILDING
	PROPOSED CONCRETE SURFACE
	PROPOSED BITUMINOUS
	PROPOSED DRIVEWAY
	PROPOSED REALIGNED DRIVEWAY
	30" BARRIER CURB & GUTTER

- GENERAL SITE NOTES**
- CONTRACTOR TO OBTAIN PERMISSION/PERMIT FROM THE VILLAGE TO WORK IN RIGHT-OF-WAY PRIOR TO ANY WORK BEING PERFORMED WITHIN THE PUBLIC RIGHT-OF-WAY. ANY REQUIRED LANE CLOSURES OR TRAFFIC CONTROL SIGNAGE/DETOUR PLANS IS THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE COORDINATED WITH VILLAGE STAFF, AS REQUIRED.
  - CONTRACTOR TO FIELD VERIFY AND LOCATE ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
  - CONTRACTOR TO COORDINATE RELOCATION OF ANY SMALL UTILITIES, AS NECESSARY.
  - CONTRACTOR SHALL MAINTAIN TRAFFIC ACCESSIBILITY ALONG THE PROJECT.
  - NO TREES OR SHRUBS ARE TO BE REMOVED WITHOUT THE PRIOR APPROVAL OF THE OWNER.
  - ALL STREET SIGNAGE, BARRICADES, AND STRIPING SHALL BE IN ACCORDANCE TO THE CURRENT EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS AND WISDOT REQUIREMENTS.
  - MINIMUM OF 1 BOULEVARD TREE PER LOT CORNER (EXCLUDING TWIN HOME ZERO LOT LINE). TREES SHALL BE MINIMUM 2-1/2" Ø AND MINIMUM OF 2 SPECIES.
  - DRIVEWAY ACCESS SHALL BE MAINTAINED FOR THE EXISTING HOME ON EXISTING LOT 24. CONTRACTOR SHALL COMMUNICATE AND COORDINATE WITH HOMEOWNER AS REQUIRED THROUGHOUT THE DURATION OF THE PROJECT.

DRAWING PHASE:	DRAWN BY: DCK
OWNER REVIEW	CHECKED BY: MDH
AGENCY REVIEW	DATE: 5/16/19
BID DOCUMENT	DWG FILE: C3.0-Site
FOR CONSTRUCTION	REF FILE: 5008-048
AS-BUILT DOCUMENT	JOB NUMBER: 5008-048
	PRELIMINARY PLAT SUBMITTAL
	DATE: 6/13/19
	NAME:
	REVISION DESCRIPTION:

**FINANCE OFFICE**  
2920 Maple Street  
Suite 101  
Bismarck, ND 58105  
Tel: 715-581-5877

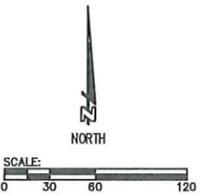
**CORPORATE OFFICE**  
400 Technology Drive East  
Suite A  
Bismarck, ND 58101  
Tel: 715-252-9400  
aathconsulting.com

**A.C.A.**  
Auth. Consulting/associates  
Self-Land Surveying a division of A.C.A.

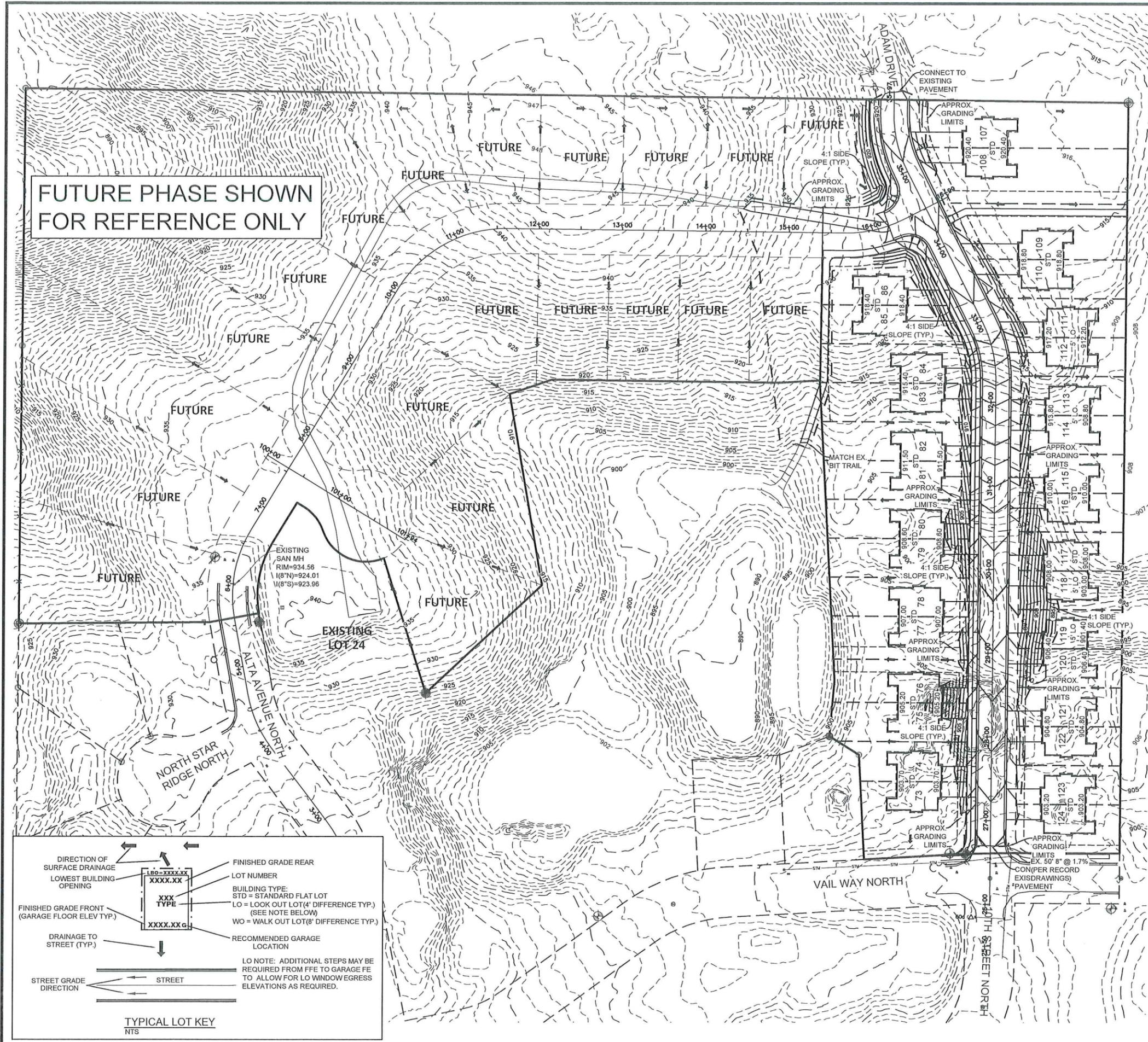
PROJECT: THE RIDGES 2ND ADDITION  
DCCI  
VILLAGE OF NORTH HUDSON, ST. CROIX COUNTY, WISCONSIN

SHEET NO. **C3.0**

SITE PLAN



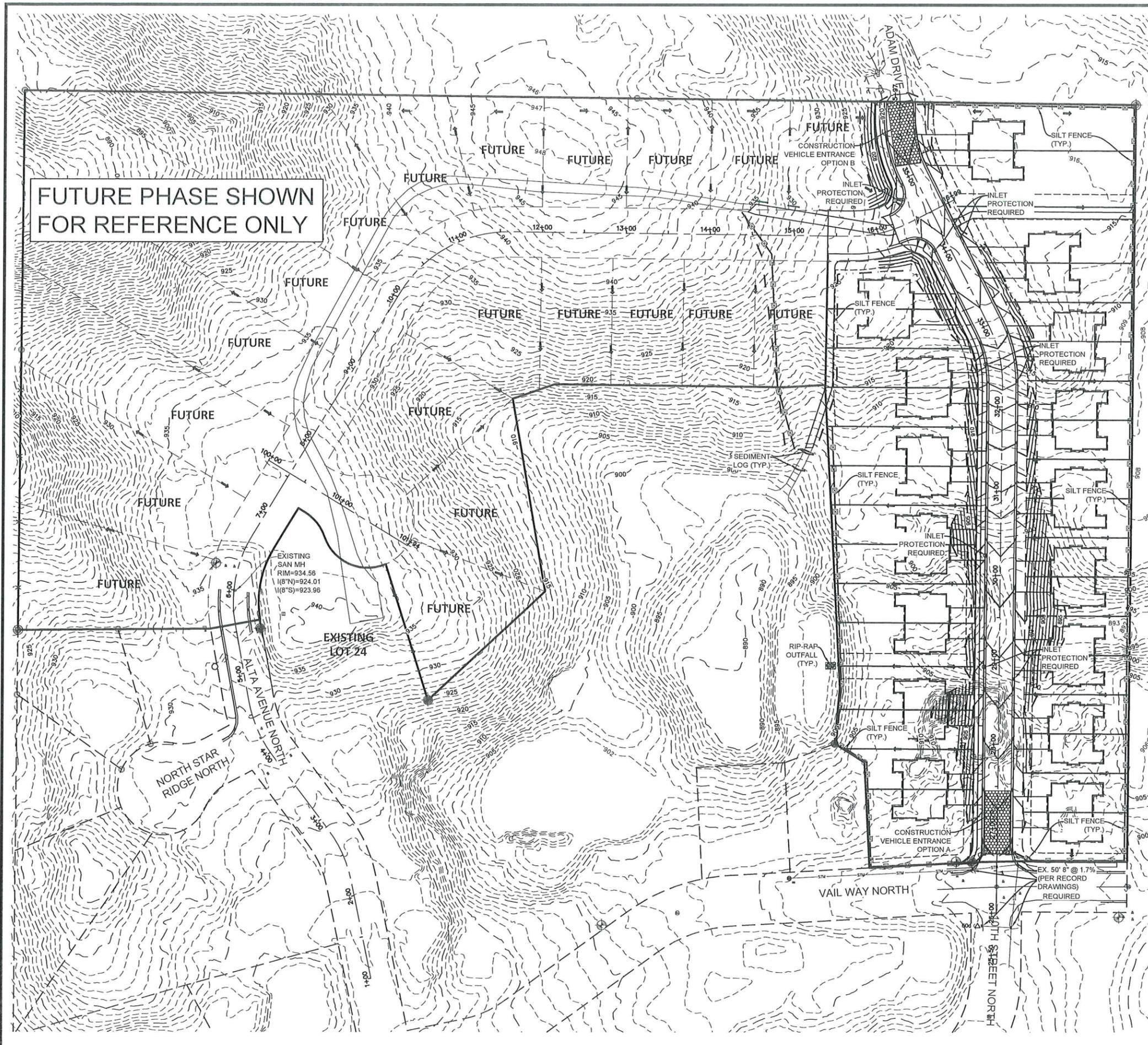




LEGEND	
	EXISTING 5FT CONTOURS
	EXISTING 1FT CONTOURS
	PROPOSED 5FT CONTOURS
	PROPOSED 1FT CONTOURS
	PROPERTY LINE
	GRADING LIMITS
	PROPOSED FINISHED GRADE SURFACE DRAINAGE

- ### GRADING NOTES
- CONTRACTOR SHALL NOTIFY UTILITIES AND HAVE ALL UTILITIES LOCATED PRIOR TO ANY CONSTRUCTION, EXCAVATION OR DEMOLITION ACTIVITIES COMMENCING.
  - CONTRACTOR TO COORDINATE WITH SMALL UTILITIES ALL REQUIRED UTILITY RELOCATION TO AVOID CONFLICTS WITH PROPOSED GRADING.
  - CONTRACTOR SHALL MECHANICALLY COMPACT ALL TRENCHES UNDER ALL PAVED, CONCRETE, GRAVEL, AND BUILDING PAD AREAS.
  - ALL TOPSOIL, ORGANIC, & UNSUITABLE MATERIAL TO BE REMOVED BEFORE FILL MATERIAL IS PLACED. NO ORGANIC, UNSUITABLE, OR FROZEN MATERIALS TO BE PLACED IN FILL AREAS. ALL FILL MATERIAL & ENGINEERED FILL TO BE MECHANICALLY COMPACTED AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER.
  - ALL GRADES AND ELEVATIONS SHOWN ARE TO FINISHED GRADES, UNLESS NOTED OTHERWISE.
  - CONTRACTOR SHALL SALVAGE AND REPLACE TOPSOIL IN ALL DISTURBED AREAS.
  - ALL EXCESS & UNSUITABLE MATERIALS TO BE REMOVED FROM THE SITE BY SITE CONTRACTOR AS REQUIRED.
  - CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR DETERMINING ALL EARTHWORK QUANTITIES BASED ON THE EXISTING AND PROPOSED ELEVATIONS PROVIDED ON THE PLANS. ANY GEOTECHNICAL INVESTIGATIONS PROVIDED BY THE OWNER APPLY ONLY TO THOSE LOCATIONS THAT DATA WAS COLLECTED, AND MAY NOT BE INDICATIVE OF CONDITIONS ELSEWHERE ON THE SITE. THE CONTRACTOR IS RESPONSIBLE FOR COLLECTING ANY ADDITIONAL GEOTECHNICAL OR SURVEY DATA HE DEEMS NECESSARY TO COMPLETE AN ACCURATE ESTIMATE OF EARTHWORK QUANTITIES.
  - CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR BALANCING SITE MATERIALS. IF ONSITE EXCAVATION AND BORROW OPERATIONS DO NOT PROVIDE ENOUGH SUITABLE MATERIAL FOR FILL AREAS, THE CONTRACTOR SHALL COORDINATE AND PAY FOR EXCAVATION, TRANSPORT AND PLACEMENT OF IMPORTED MATERIAL MEETING THE SPECIFICATIONS OF THE CONTRACT DOCUMENTS. IF EXCAVATION RESULTS IN EXCESS MATERIALS, THE CONTRACTOR SHALL PROVIDE AND PAY FOR LOADING, TRANSPORT AND OFFSITE DISPOSAL OF EXCESS MATERIALS.

DRAWN BY:		CHECKED BY: MDH		DATE: 5/16/19		DWG FILE: C5.0-Grading		REF FILE: 5008-048		JOB NUMBER: 5008-048		PRELIMINARY PLAT SUBMITTAL		MDH		6/13/19	
OWNER REVIEW		AGENCY REVIEW		BID DOCUMENT		FOR CONSTRUCTION		AS-BUILT DOCUMENT		REVISION DESCRIPTION:		NAME:		DATE:			
<b>BLAINE OFFICE</b> 2920 Blaine Street Suite 101 Blaine, WI 54819 Tel: 715-381-5377		<b>CORPUS OFFICE</b> 404 Technology Drive East Suite A Racine, WI 53401 Tel: 715-232-5400				<b>Auth-Consulting/associates</b> S&B Land Surveying, a division of A/C/A		PROJECT: THE RIDGES 2ND ADDITION DCCI VILLAGE OF NORTH HUDSON, ST. CROIX COUNTY, WISCONSIN		SHEET NO. <b>C5.0</b>		GRADING PLAN					



LEGEND	
	EXISTING 5FT CONTOUR
	EXISTING 1FT CONTOUR
	PROPOSED 5FT CONTOUR
	PROPOSED 1FT CONTOUR
	PROPOSED GRADING LIMITS
	CONSTRUCTION VEHICLE TRACKING PAD
	PROPOSED FINISHED GRADE SURFACE DRAINAGE
	SILT FENCE TO BE INSTALLED PRIOR TO ANY GRADING ACTIVITIES
	RIP RAP WISDOT MEDIUM GRADE
	DITCH CHECK/SEDIMENT LOG

- ### EROSION CONTROL NOTES
- EROSION CONTROL DEVICES SHALL BE IN PLACE BEFORE BEGINNING ANY DEMOLITION, EXCAVATION OR CONSTRUCTION ACTIVITIES AND CONTINUOUSLY MAINTAINED.
  - INSTALL CONSTRUCTION VEHICULAR TRACKING PAD AT ENTRANCE/EXIT OF PROJECT SITE. SEE DETAIL SHEETS FOR INSTALLATION REQUIREMENTS.
  - INSTALL SILT FENCE AS SHOWN ON PLAN OR AS DIRECTED BY THE ENGINEER. SEE DETAIL SHEETS FOR SILT FENCE INSTALLATION. SILT FENCE SHALL BE MAINTAINED IN ACCORDANCE WITH SECTION 628 EROSION CONTROL OF THE WISCONSIN DOT STANDARD SPECIFICATIONS
  - ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED IMMEDIATELY AFTER FINAL GRADE IS ESTABLISHED IN ANY PARTICULAR AREA.
  - RIP-RAP TO BE WISDOT MEDIUM GRADE, OR APPROVED EQUAL, 24"(MIN.) DEPTH WITH GEOTEXTILE FABRIC AT 90° TO DIRECTION OF FLOW.
  - ALL DISTURBED SLOPES IN EXCESS OF 4:1 SHALL BE SEEDED AND PROTECTED WITH EROSION MAT (WISDOT CLASS I TYPE A) OR SHALL BE SODDED AND STAKED OR HYDROSEEDING AS AN ALTERNATIVE.
  - TEMPORARY SEED SHOULD BE APPLIED, IF CONSTRUCTION EXTENDS PAST SEPTEMBER 1ST, OF ANNUAL RYEGRASS AND OATS AT THE RATE OF 5 POUNDS PER 1000 S.F. OF AREA AND LEFT OVER WINTER. PERMANENT SEEDING SHALL BE COMPLETED THE FOLLOWING SPRING. IF TEMPORARY SEEDING CANNOT BE COMPLETED BEFORE WINTER FREEZE UP THEN ALL DISTURBED AREAS SHALL BE MULCHED AT A RATE OF 3 TONS PER ACRE AND ANCHORED ACCORDING TO THE WDNR TECHNICAL STANDARD-(1058) "MULCHING FOR CONSTRUCTION SITES." PERMANENT SEEDING SHALL BE COMPLETED THE FOLLOWING SPRING.
  - ALL EROSION CONTROL MEASURES SHALL BE LEFT IN PLACE AND MAINTAINED UNTIL RESTORATION ON SITE HAS BEEN ESTABLISHED (A MINIMUM OF 70% VEGETATION TYP.).
  - ANY SOIL STOCKPILES WHICH ARE LEFT MORE THAN 7 DAYS MUST BE PROTECTED BY SEEDING AND MULCHING, EROSION MAT, SILT FENCING, COVERING OR OTHER APPROVED METHODS. THIS DOES NOT INCLUDE FILL OR TOPSOIL PILES THAT ARE IN ACTIVE USE.
  - SITE WATERING SHALL TAKE PLACE AS CONSTRUCTION AND WEATHER CONDITIONS WARRANT TO MINIMIZE DUST POLLUTION FROM LEAVING THE SITE.
  - SITE MONITORING OF EROSION AND SEDIMENT CONTROL PRACTICES FOR MAINTENANCE NEEDS SHALL BE COMPLETED AT THE INTERVALS SPECIFIED UNTIL THE SITE IS STABILIZED. SITE MONITORING SHALL OCCUR AT LEAST WEEKLY OR WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 0.5 INCHES OR GREATER. A RAINFALL EVENT SHALL BE CONSIDERED TO BE THE TOTAL AMOUNT OF RAINFALL RECORDED IN ANY CONTINUOUS 24 HOUR PERIOD. MONITORING RECORDS SHALL BE KEPT AND CONTAIN, AT A MINIMUM, THE CONDITION OF THE EROSION AND SEDIMENT CONTROL PRACTICES AT THE INTERVALS SPECIFIED AND A DESCRIPTION OF THE MAINTENANCE CONDUCTED TO REPAIR OR REPLACE EROSION AND SEDIMENT CONTROL PRACTICES.
  - OFF-SITE SEDIMENT DEPOSITION RESULTING FROM THE FAILURE OF AN EROSION OR SEDIMENT CONTROL PRACTICE SHALL BE CLEANED UP WITHIN 24 HOURS. OFF-SITE SEDIMENT DEPOSITION RESULTING FROM CONSTRUCTION ACTIVITY, THAT CREATES A NUISANCE, SHALL BE CLEANED UP BY THE END OF THE WORK DAY. IF THE FAILURE OF EROSION OR SEDIMENT CONTROL PRACTICES RESULT IN AN IMMEDIATE THREAT OF SEDIMENT ENTERING PUBLIC SEWERS OR THE WATERS OF THE STATE, PROCEDURES SHALL BE IMPLEMENTED IMMEDIATELY TO REPAIR OR REPLACE THE PRACTICES. SCRAPING OF THE STREET SHALL BE COMPLETED WITHIN 4 HOURS AND STREET SWEEPING WITHIN 24 HOURS.

PROJECT:	THE RIDGES 2ND ADDITION
DCCI	VILLAGE OF NORTH HUDSON, ST. CROIX COUNTY, WISCONSIN
SHEET NO.	C6.0
DATE:	6/13/19
NAME:	MDH
REVISION DESCRIPTION:	PRELIMINARY PLAT SUBMITTAL
JOB NUMBER:	5008-048
REF FILE:	5008-048
BID DOCUMENT:	C6.0-Erosion
AGENCY REVIEW:	5/16/19
CHECKED BY:	MDH
DRAWN BY:	DCK

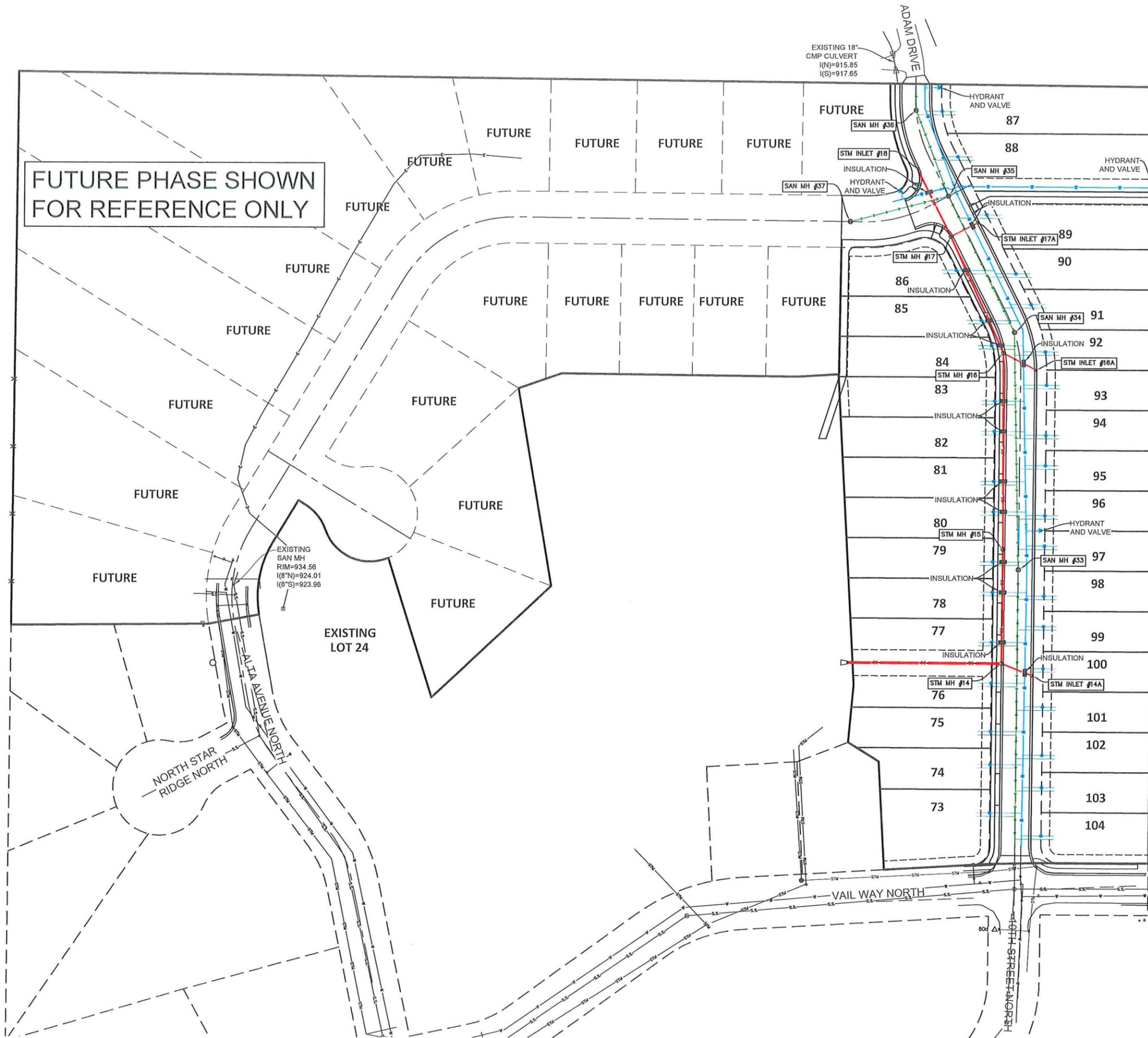
  

<b>FRANCE OFFICE</b> 2920 Balise Street Suite 101 Madison, WI 53718 Tel: 715-91-5877 <a href="http://autocounting.com">autocounting.com</a>	<b>OPERATIVE OFFICE</b> 401 Technology Drive East Suite A Wisconsin, WI 54751 Tel: 715-282-4400
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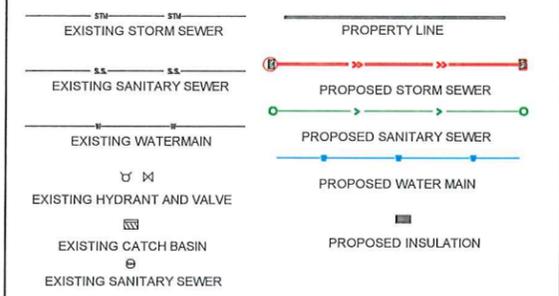
  

**ACA**  
Auth-Consulting/associates  
Soil Land Surveying a division of ACA

FUTURE PHASE SHOWN FOR REFERENCE ONLY



LEGEND



GENERAL UTILITY NOTES

1. CONTRACTOR TO FIELD VERIFY AND LOCATE ALL EXISTING UTILITIES PRIOR TO ANY DEMOLITION, EXCAVATION OR CONSTRUCTION.
2. CONTRACTOR TO COORDINATE RELOCATION OF ANY SMALL UTILITIES, IF NECESSARY.
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4. CONTRACTOR TO FIELD VERIFY SANITARY SEWER, STORM SEWER AND WATERMAIN CONNECTION POINTS AND SIZES, PRIOR TO ANY INSTALLATIONS.

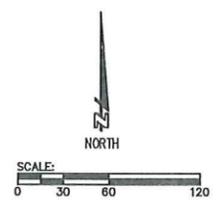
**PLANNING OFFICE**  
 2920 Balise Street  
 Suite 101  
 Hudson, WI 54119  
 Tel: 715-581-5577

**CORPORATE OFFICE**  
 408 Technology Drive East  
 Suite A  
 Neenah, WI 54951  
 Tel: 715-232-4400  
 authiconsulting.com

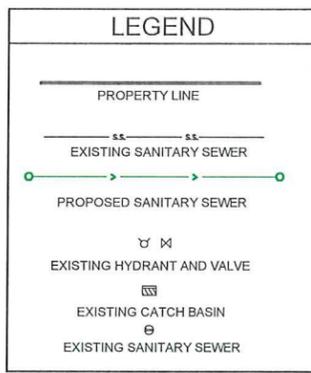
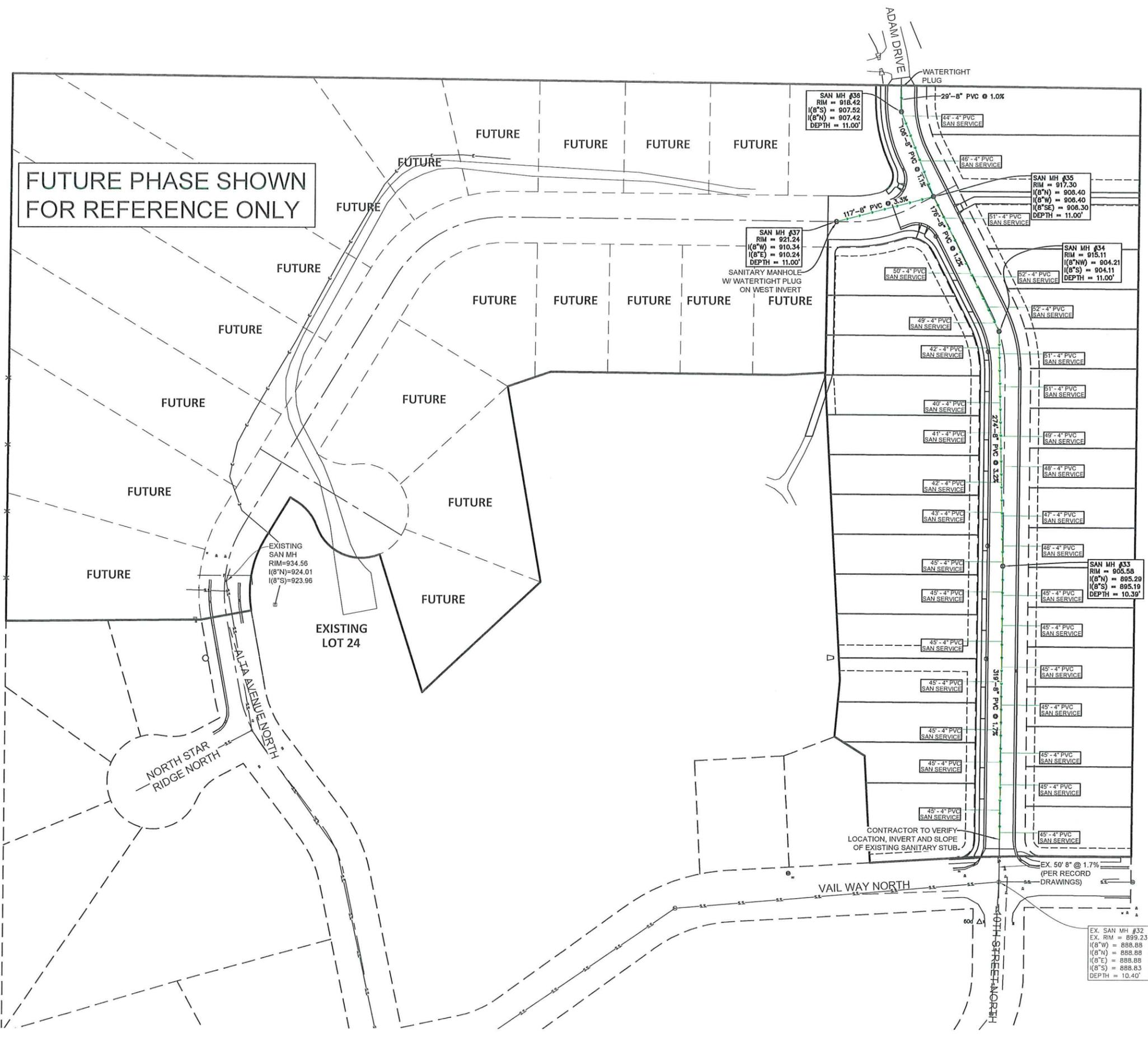
**A.C.A.**  
 Auth-Consulting/associates  
 SAN Land Surveying & division of A/C/A

PROJECT: THE RIDGES 2ND ADDITION  
 DCCI  
 VILLAGE OF NORTH HUDSON, ST. CROIX COUNTY, WISCONSIN  
 OVERALL UTILITY PLAN

DRAWING PHASE:	FOR CONSTRUCTION	AS-BUILT DOCUMENT
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AGENCY REVIEW		
BID DOCUMENT		
DATE:	5/16/19	
DWG FILE:	C7.0-UT1	
REF FILE:	500B-048	
JOB NUMBER:	500B-048	
PRELIMINARY PLAT SUBMITTAL	MDH	6/13/19
REVISION DESCRIPTION:	NAME:	DATE:



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- ### SANITARY SEWER NOTES
- 8" SANITARY SEWER PIPE TO BE PVC SDR 35.
  - SANITARY SEWER LATERALS TO BE PVC SCHEDULE 40 PIPING.
  - SANITARY SEWER LATERAL TO BE INSTALLED AT A MIN OF 1.0%.
  - CONTRACTOR TO FIELD VERIFY/LOCATE AND UTILIZE THE EXISTING SANITARY MANHOLES FOR THE PROPOSED SANITARY SEWER CONNECTIONS.
  - SANITARY SEWER SERVICES SHALL BE INSTALLED WITH TRACER WIRE & TRACER WIRE SIGNAL BOXES, PER CITY OF HUDSON SPECIFICATIONS.

PROJECT:	THE RIDGES 2ND ADDITION	DRAWING PHASE:	DKK
DCCI		OWNER REVIEW	CHECKED BY: MDH
VILLAGE OF NORTH HUDSON, ST. CROIX COUNTY, WISCONSIN		AGENCY REVIEW	DATE: 5/16/19
SANITARY SEWER PLAN		BID DOCUMENT	DWG FILE: C7.1-San
		FOR CONSTRUCTION	REF FILE: 5008-048
		AS-BUILT DOCUMENT	JOB NUMBER: 5008-048
			PRELIMINARY PLAT SUBMITTAL
			REVISION DESCRIPTION:
			DATE: 6/13/19

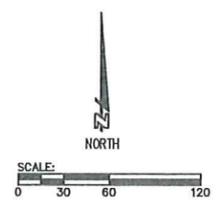
  

<p><b>BRUNNEN OFFICE</b> 2920 Balise Street Suite 101 Hudson, WI 54016 Tel: 715-581-5577</p> <p><b>CONCEPT OFFICE</b> 408 Technology Drive East Suite A Monona, WI 53551 Tel: 715-232-5400</p> <p><b>A.C.A.</b> Auth-Consulting/associates SAN Land Surveying &amp; Planning, a division of A/C/A</p>	<p>BRUNNEN OFFICE</p> <p>CONCEPT OFFICE</p>
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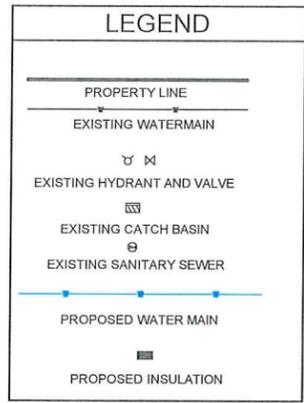
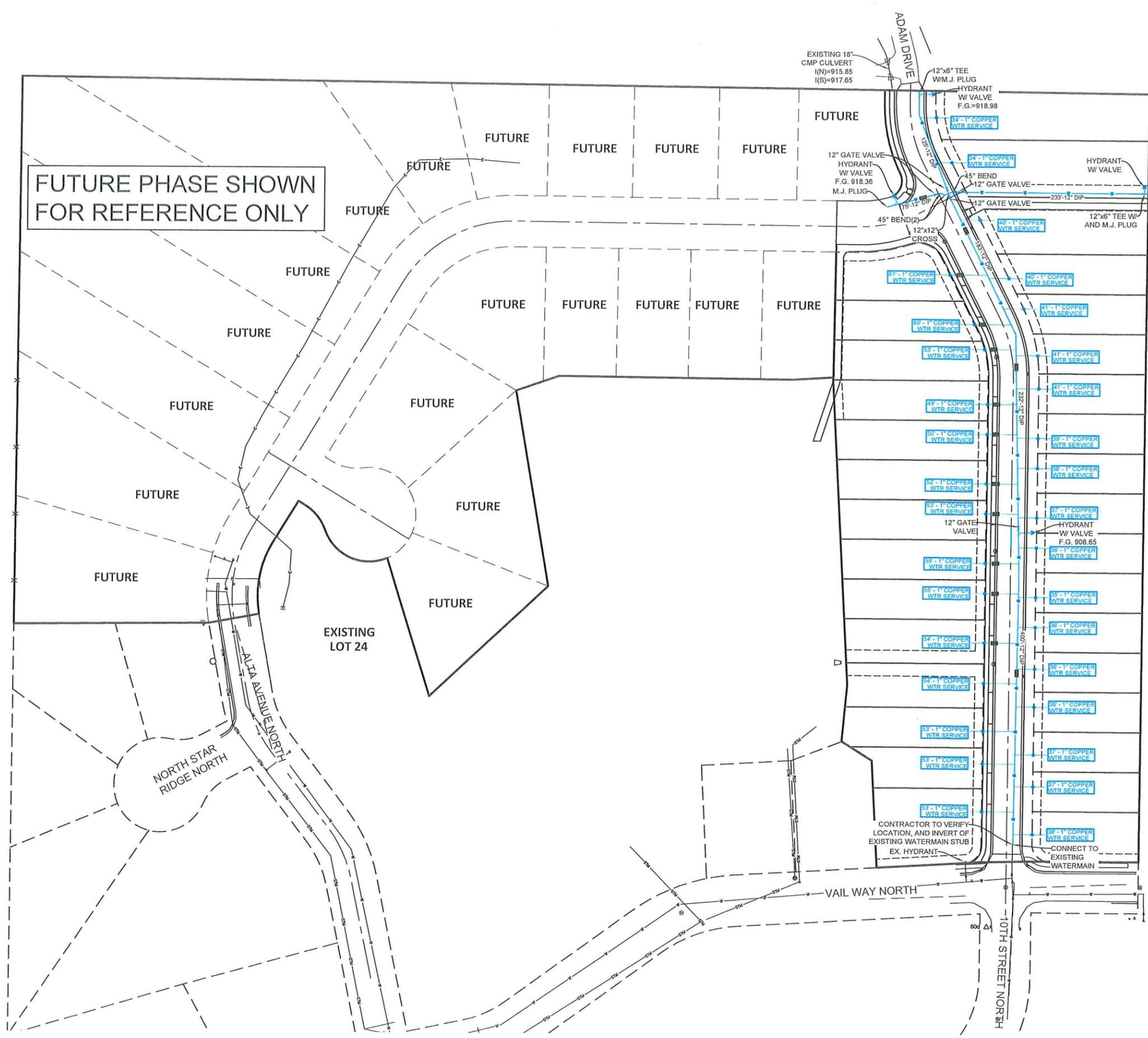
  

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VILLAGE OF NORTH HUDSON, ST. CROIX COUNTY, WISCONSIN  
SANITARY SEWER PLAN

SHEET NO. **C7.1**

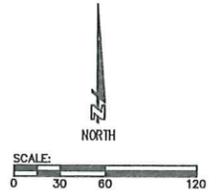


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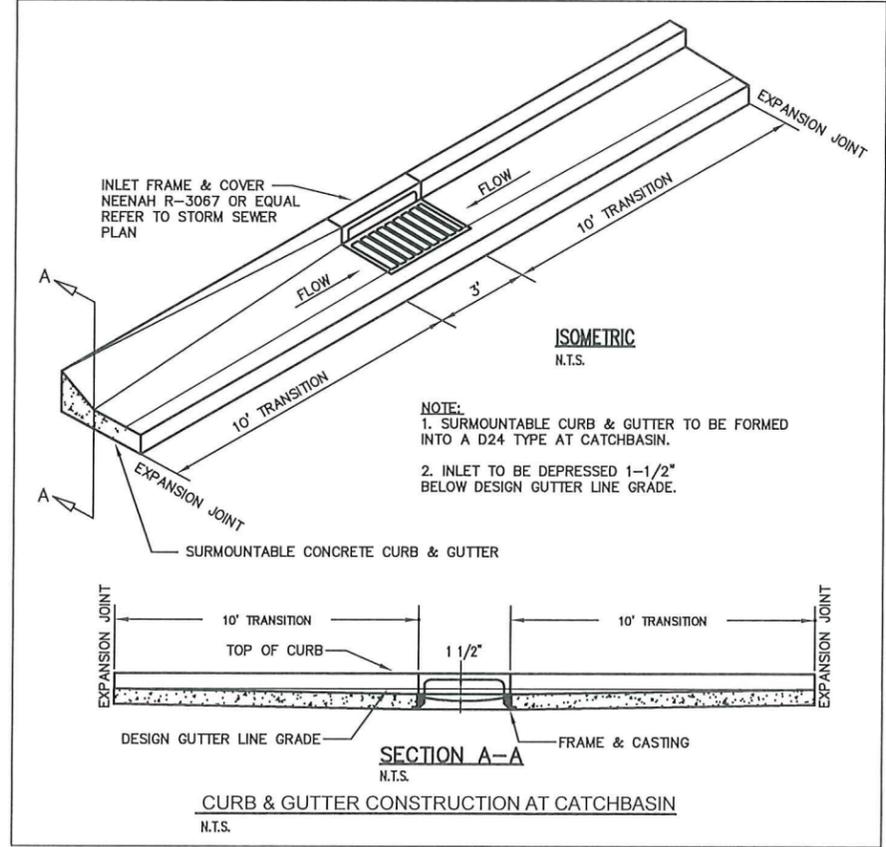
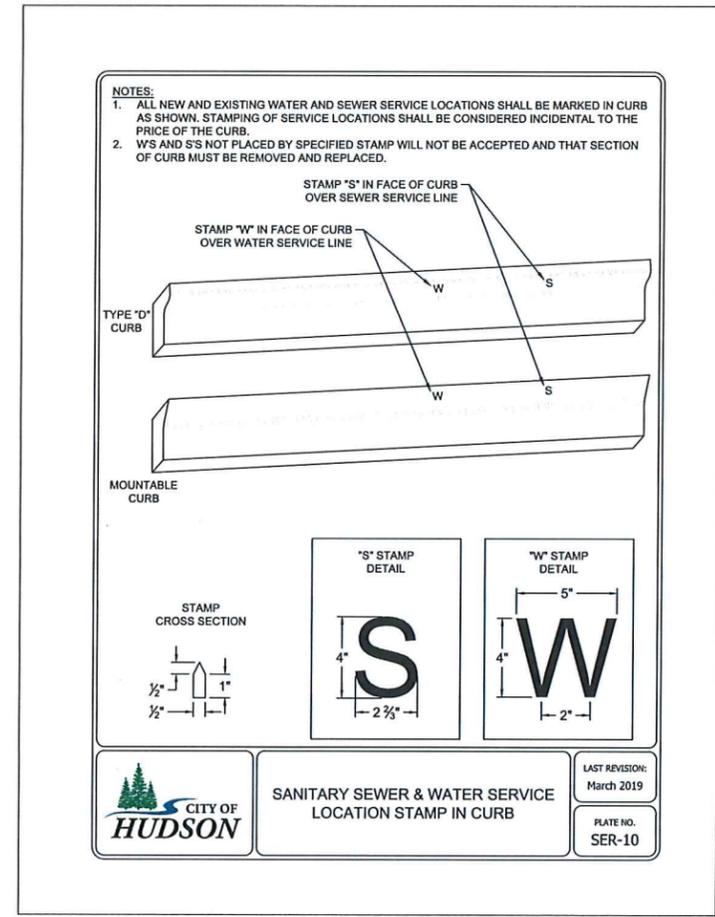
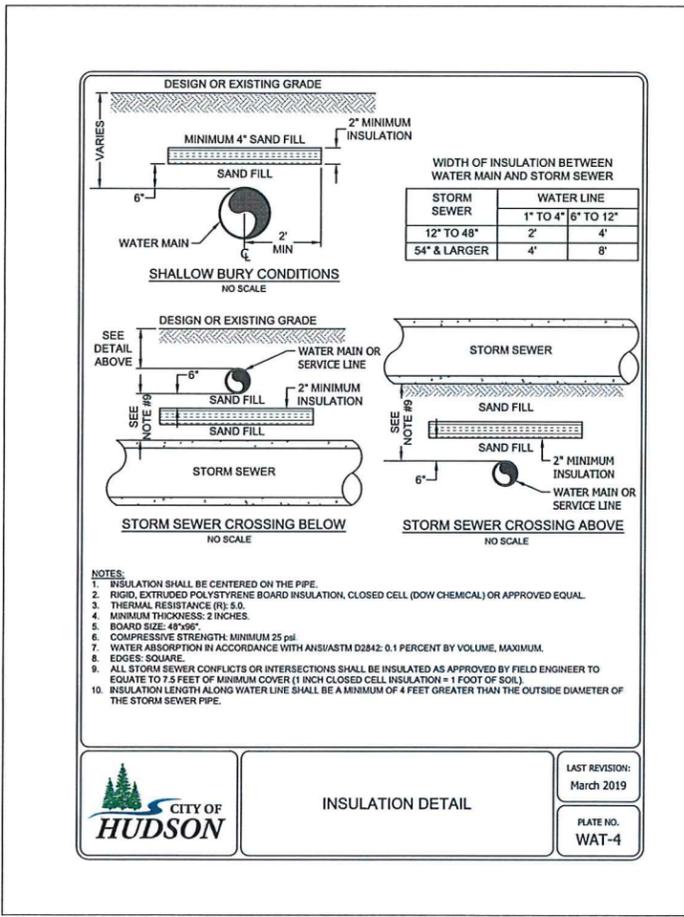
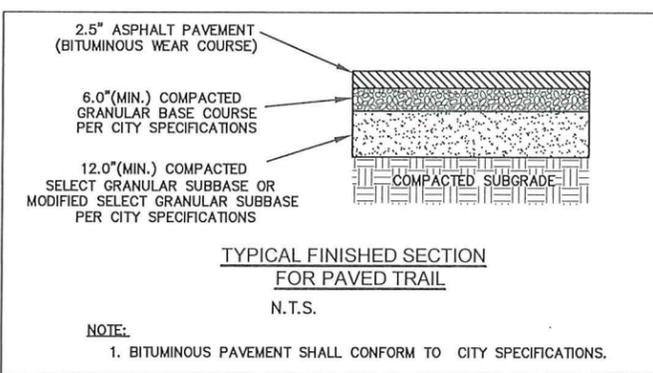
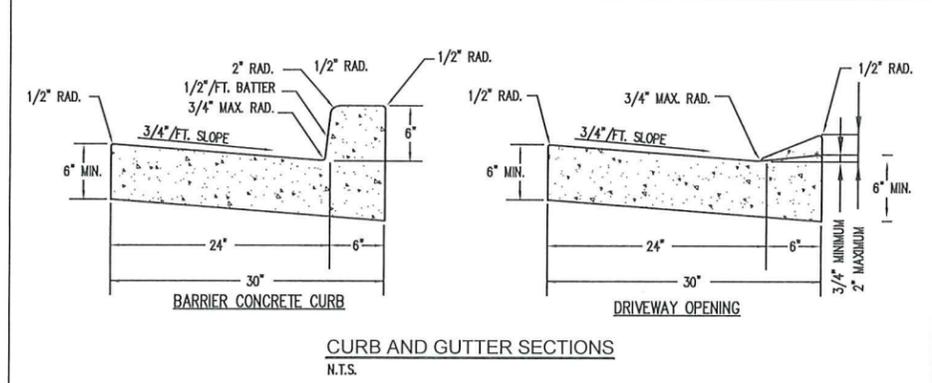
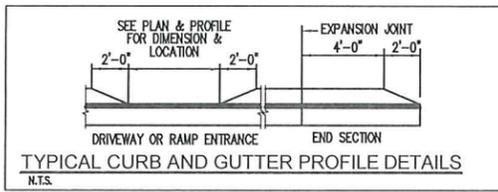
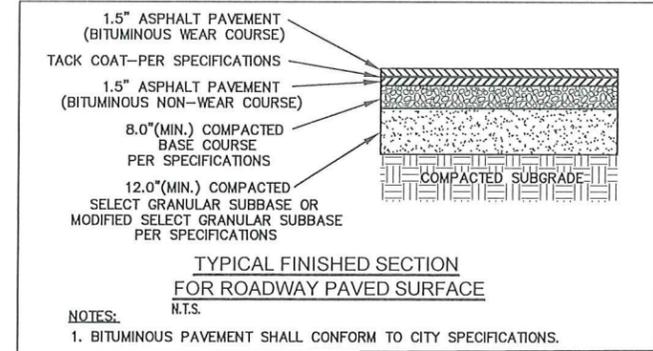
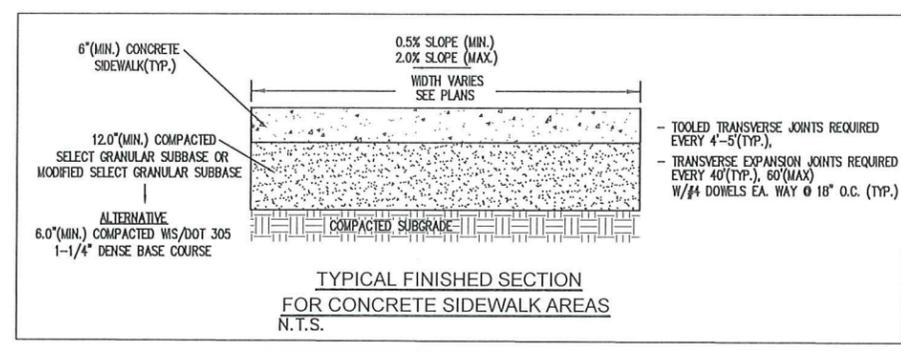
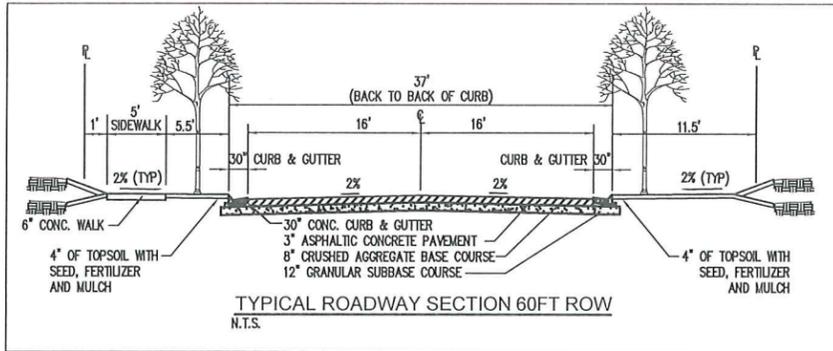
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  - CONTRACTOR TO FIELD VERIFY SANITARY SEWER, STORM SEWER AND WATERMAIN CONNECTION POINTS AND SIZES, PRIOR TO ANY INSTALLATIONS.

- ### WATERMAIN NOTES
- 8" & 12" WATERMAIN SHALL BE DUCTILE IRON PIPE(DIP), CLASS 52.
  - WATER SERVICE LATERALS SHALL BE 1" COPPER PIPE, TYPE K.
  - MAINTAIN 7.5' MINIMUM COVER OVER WATERMAIN & WATER SERVICE LATERALS.
  - HYDRANT SHALL BE INSTALLED WITH AN 8.0' BURY DEPTH.
  - HYDRANT SHALL BE PLACED 5.0' BEHIND BACK OF CURB.
  - SEE PLAN AND PROFILE SHEET FOR WATERMAIN GRADES AND DEPTHS.
  - CONTRACTOR TO FIELD VERIFY/LOCATE AND UTILIZE EXISTING 8" WATER STUBS FOR THE PROPOSED WATERMAIN CONNECTIONS.
  - CONTRACTOR TO TEST AND VERIFY THAT EXISTING WATERMAIN GATE VALVES DOWNSTREAM FROM CONNECTIONS ARE WORKING PROPERLY. IF EXISTING GATE VALVES FAIL TESTING THEN NEW GATE VALVES SHALL BE INSTALLED AT CONNECTION LOCATIONS WHERE SHOWN.
  - MAINTAIN A MINIMUM OF 18" OF VERTICAL SEPARATION DISTANCE FROM SANITARY SEWER AT CROSSINGS.
  - ALL WATER MAIN THRUST RESTRAINT SHALL FOLLOW THE CITY OF HUDSON DETAILS, CURRENT EDITION AND THE "WISCONSIN STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN", SIXTH EDITION.



DRAWING PHASE:		OWNER REVIEW	AGENCY REVIEW	BID DOCUMENT	FOR CONSTRUCTION	AS-BUILT DOCUMENT		
DRAWN BY: DCK		CHECKED BY: MDH	DATE: 5/16/19	DWG FILE: C7.2-Wr	REF FILE: 5008-048	JOB NUMBER: 5008-048		
PROJECT:		THE RIDGES 2ND ADDITION					PRELIMINARY PLAT SUBMITTAL	MDH 6/13/19
CLIENT:		VILLAGE OF NORTH HUDSON, ST. CROIX COUNTY, WISCONSIN					REVISION DESCRIPTION:	NAME:
DESIGNER:		Auth-Consulting/associates					DATE:	
ADDRESS:		400 Technology Drive East, Suite A, Hudson, WI 54016					JOB NUMBER: 5008-048	
PHONE:		715-252-6400					JOB NUMBER: 5008-048	
WEBSITE:		aucthconsulting.com					JOB NUMBER: 5008-048	
PROJECT:		THE RIDGES 2ND ADDITION					JOB NUMBER: 5008-048	
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CLIENT:		VILLAGE OF NORTH HUDSON, ST. CROIX COUNTY, WISCONSIN					JOB NUMBER: 5008-048	
DESIGNER:		Auth-Consulting/associates					JOB NUMBER: 5008-048	
ADDRESS:		400 Technology Drive East, Suite A, Hudson, WI 54016					JOB NUMBER: 5008-048	
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PROJECT: THE RIDGES 2ND ADDITION  
DCCI  
VILLAGE OF NORTH HUDSON, ST. CROIX COUNTY, WISCONSIN

SHEET NO. C8.0

DATE: 6/13/19

PRELIMINARY PLAT SUBMITTAL MDH

REVISION DESCRIPTION: NAME

DRAWN BY: DCK

CHECKED BY: MDH

DATE: 5/16/19

DWG FILE: CE.0-Details

REF FILE: 5008-048

JOB NUMBER: 5008-048

DRAWING PHASE: FOR CONSTRUCTION AS-BUILT DOCUMENT

OWNER REVIEW: X

AGENCY REVIEW: X

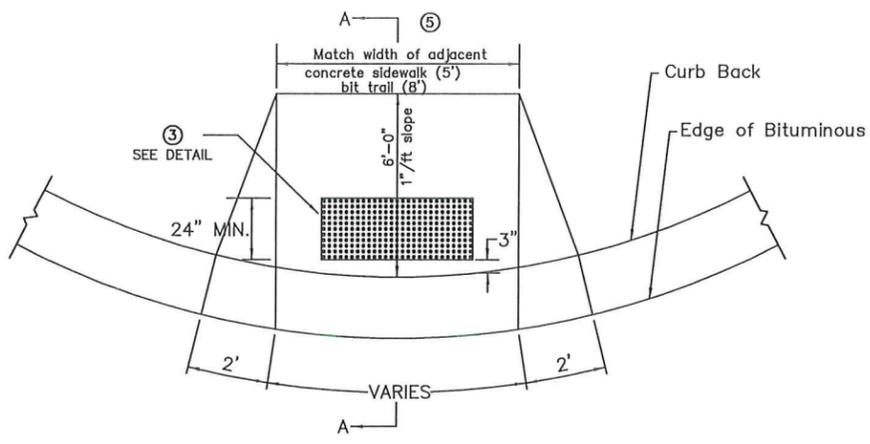
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FOR CONSTRUCTION

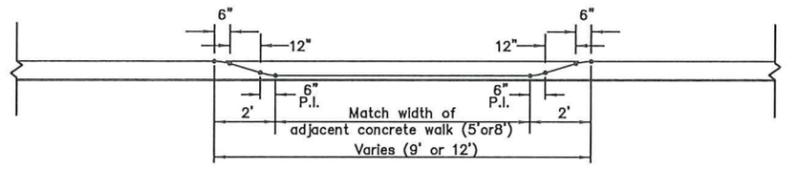
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BRUNNEN OFFICE  
2820 Balcon Street  
Suite 101  
Madison, WI 53704  
Tel 715-981-3577

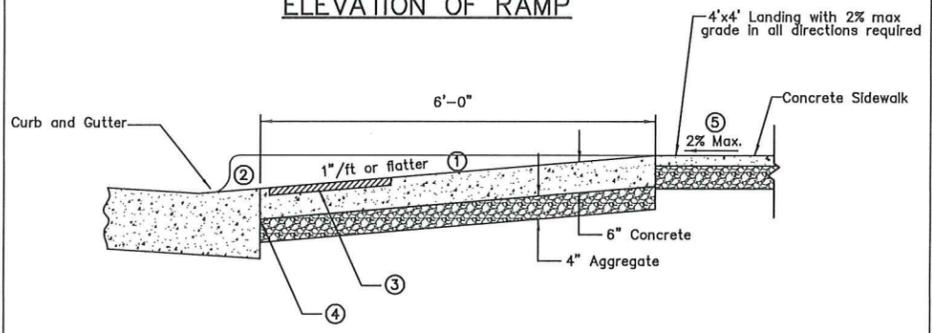
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S&E Land Surveying a division of A/C/A



PLAN VIEW OF RAMP



ELEVATION OF RAMP



SECTION A-A

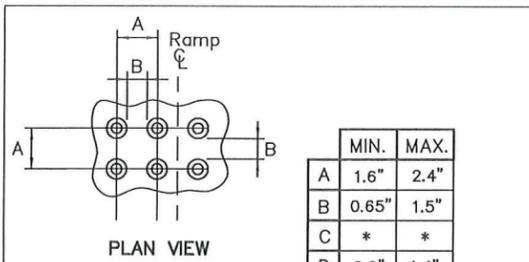
NOTES:

1. THE CURB AND CURB TRANSITION ON THE RAMP WILL BE PAID FOR AS LINEAR FEET OF CONCRETE CURB AND GUTTER.
2. THE RAMP AREA WILL BE PAID FOR AS SQUARE FEET OF CONCRETE WALK.

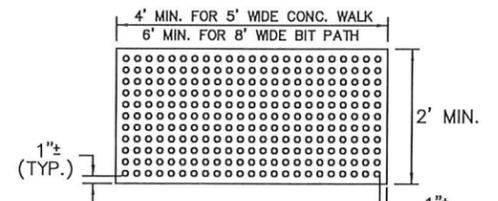
- ① 6'-0" DIMENSION MAY BE INCREASED WHERE FEASIBLE TO PROVIDE A FLATTER SLOPE.
- ② THE 1"/ft. SLOPE SHALL BE CONSTRUCTED THROUGH THE CURB TO THE GUTTER WITH NO LIP AT THE GUTTER SECTION.
- ③ ADA REQUIRED TRUNCATED DOMES PER WSDOT STANDARD DETAIL DRAWING BD5-9a OR BD5-9b. DETECTABLE TRUNCATED DOME WARNING MATERIAL SHALL BE THE FOLLOWING WSDOT APPROVED SYSTEM.  
NEENAH CAST IRON, UNPAINTED TRUNCATED DOME PANELS  
\*\*\*MAY NEED MULTIPLE INSERTS FOR WIDER PATHWAYS\*\*\*
- ④ 1/2 INCH PREFORMED JOINT FILLER MATERIAL, AASHTO M 213
- ⑤ PROVIDE A PATH OF TRAVEL 4'-0" WIDE BY 4'-0" LONG BEHIND THE PEDESTRIAN RAMP. A RELATIVELY FLAT (2% MAXIMUM SLOPE) 4' x 4' LANDING IS REQUIRED.

PEDESTRIAN RAMP (CONCRETE SIDEWALK)

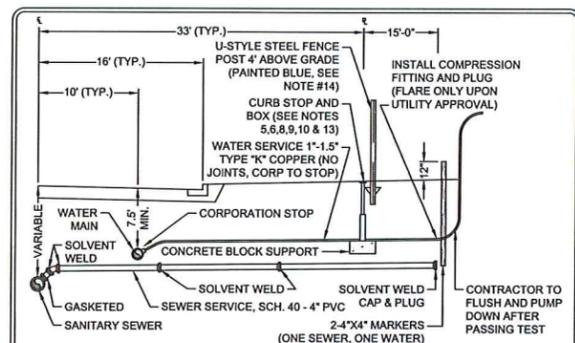
N.T.S.



\* THE C DIMENSION IS 50% TO 65% OF THE D DIMENSION.



PLAN VIEW DETECTABLE WARNING FIELD (TYPICAL)

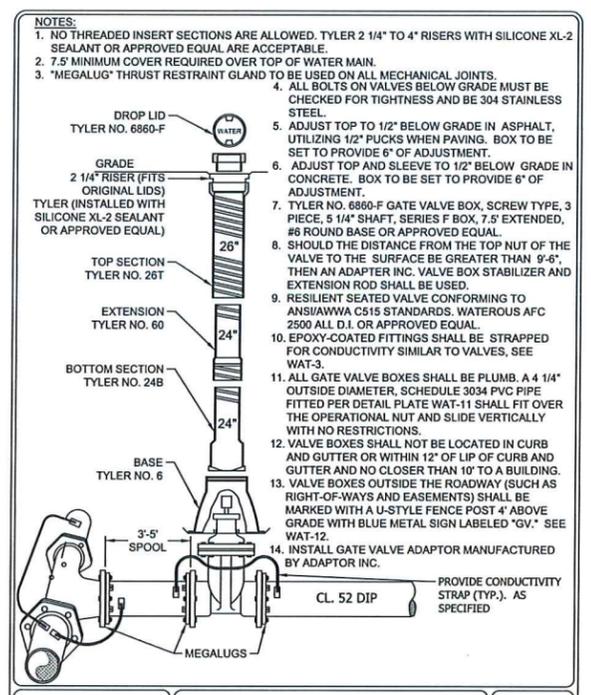


- NOTES:
1. SEWER SERVICES, SCHEDULE 40 - 4" AND 6" PVC.
  2. SLOPE - 1/4" PER FOOT MINIMUM (REFERENCE TO PROPOSED HOUSE PAD ASSURING GRAVITY FLOW TO PROPOSED BUILDING OR HOUSE) CONTRACTOR TO SUPPLY EXACT END OF SERVICE ELEVATION & LOCATION.
  3. PIPE JOINTS AND FITTINGS AFTER WYE BRANCH SHALL BE NON GASKETED, SOLVENT WELD TYPE.
  4. ALL PIPE SHALL BE BEDDED IN GRANULAR BORROW 20% 2.2 GRADE 1" OR COURSE FILTER AGGREGATE (501.3.6.4.5 SIZE NO. 1 CRUSHED).
  5. CURB BOX SHALL EXTEND FROM 76" TO 90" AND INSTALLED TO BE ADJUSTABLE 6" UP AND DOWN FROM FINISHED GRADE.
  6. ADJUST CURB BOX TO 1" BELOW FINISH GRADE.
  7. 1-1/4" AND 1-1/2" TAPS (AND ANY SIZE TAPS IN 4" D.I.P.) SHALL BE INSTALLED WITH DOUBLE STRAP TAPPING SERVICE SADDLE, FORD STYLE F202 (WITH ANWA CC THREADS) OR APPROVED EQUAL.
  8. ALL CURB STOPS AND CORPORATION STOPS SHALL BE IN THE OPEN POSITION DURING THE PRESSURE TEST.
  9. CORPORATION STOP (ANWA CC THREADS); MUELLER 300 BALL B-25008 OR APPROVED EQUAL.
  10. CURB STOP: MUELLER 300 BALL B2154, B2156 OR APPROVED EQUAL.
  11. CURB BOX (MINNEAPOLIS PATTERN): 1" SERVICE - MUELLER H10300 (1-1/4" UPPER SECTION) OR APPROVED EQUAL.
  12. 1-1/2" SERVICE: MUELLER H10302 (1-1/2" UPPER SECTION) OR APPROVED EQUAL.
  13. CURB BOXES IN BITUMINOUS OR CONCRETE SHALL BE INSTALLED UTILIZING VALVCO CASTING SC40 (WITH WATER LID), OR APPROVED EQUAL.
  14. SERVICE FITTING COUPLINGS UTILIZED FROM CURB STOP TO BUILDING SHALL BE MUELLER H-15400, H-15430, OR APPROVED EQUAL.
  15. WATER SERVICE SHALL BE TAPPED WITH WATER MAIN UNDER PRESSURE, AND LOCATED IN UPPER QUADRANT OF MAIN (2 O'CLOCK OR 10 O'CLOCK), OR LOCATION APPROVED BY THE CITY. THREADS SHALL BE DOUBLE WRAPPED WITH TEFLON TAPE PRIOR TO INSTALLATION. TAPPING BIT SHALL BE INSPECTED AND APPROVED BY THE CITY.
  16. CURB BOX SHALL BE LOCATED AT PROPERTY LINE. FOR PRIVATE STREET/DRIVES, CURB BOX LOCATION SHALL BE A MAXIMUM OF 10' BEHIND CURB OR EDGE OF PAVEMENT, AND NO CLOSER THAN 10' FROM EDGE OF BUILDING. NO CURB BOX SHALL BE LOCATED IN CURB AND GUTTER OR CLOSER THAN 12" TO LIP OF GUTTER.
  17. CURB BOXES LOCATED IN UNIMPROVED RIGHT-OF-WAYS AND EASEMENTS SHALL BE MARKED WITH U-STYLE STEEL POST 4' ABOVE GRADE WITH BLUE METAL SIGN LABELED "CS" IN WHITE LETTERS PER DETAIL WAT-11.



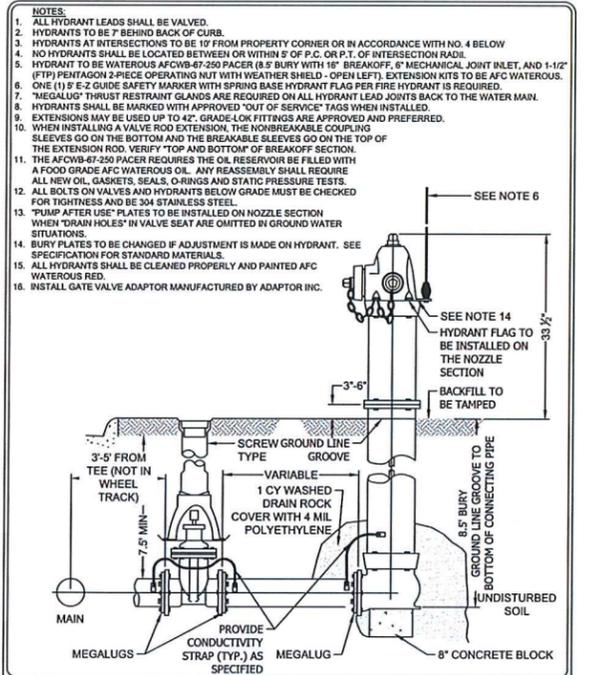
SEWER AND WATER SERVICE CONNECTIONS

LAST REVISION: March 2019  
PLATE NO. SER-5



GATE VALVE AND BOX INSTALLATION

LAST REVISION: March 2019  
PLATE NO. WAT-1



HYDRANT W/ GATE VALVE & BOX INSTALLATION

LAST REVISION: March 2019  
PLATE NO. WAT-2

PROJECT: THE RIDGES 2ND ADDITION  
DCCI  
VILLAGE OF NORTH HUDSON, ST. CROIX COUNTY, WISCONSIN

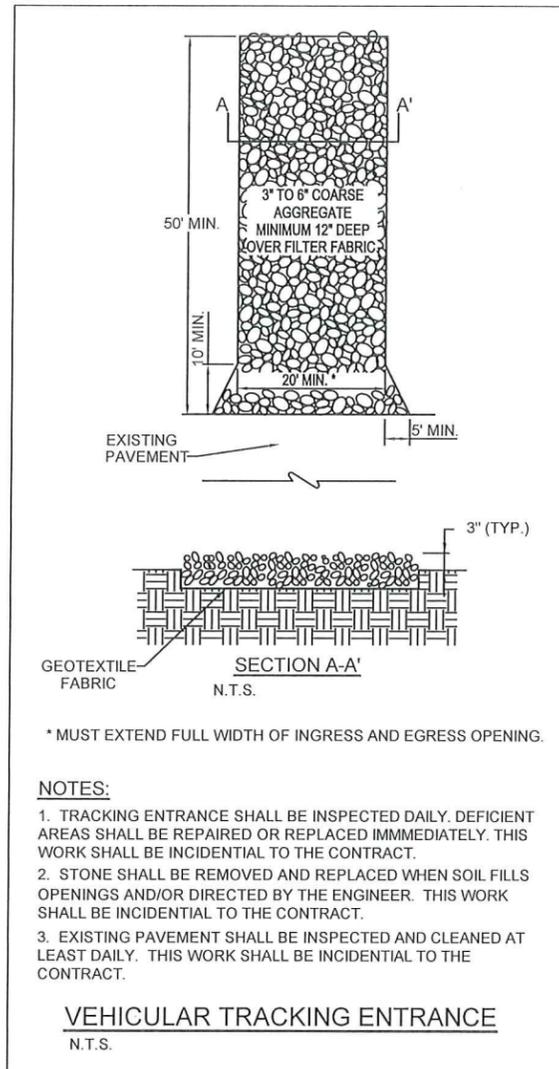
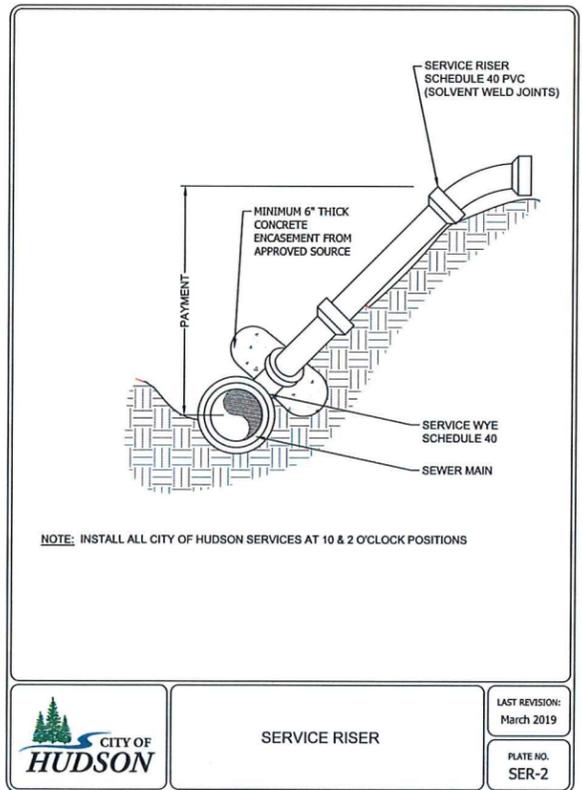
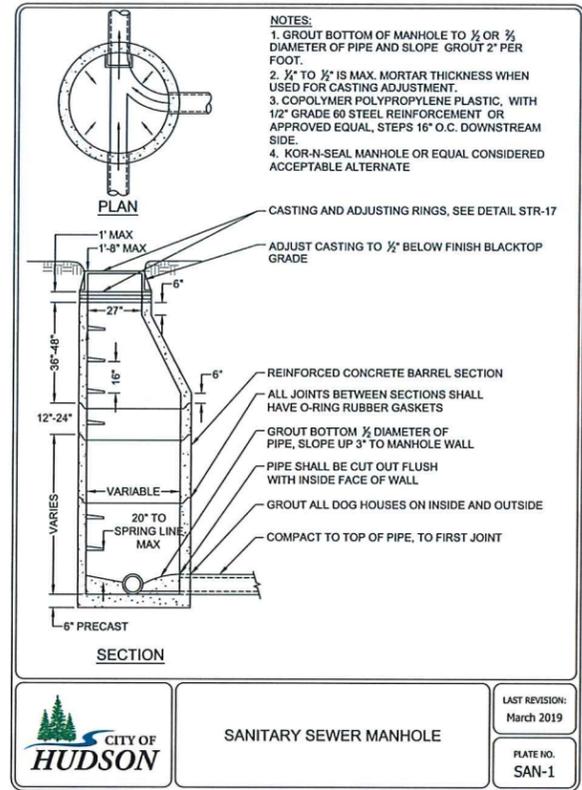
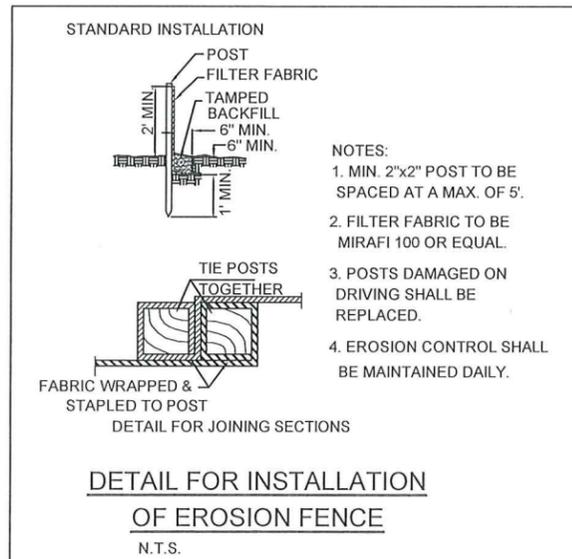
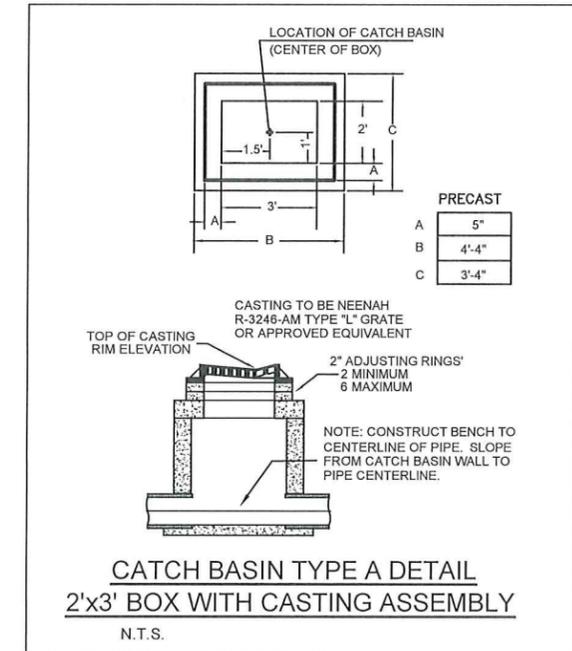
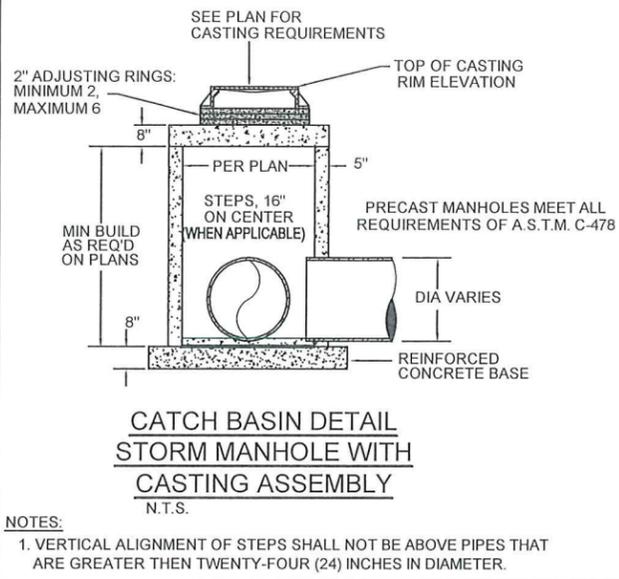
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Auth Consulting/associates  
Self Lead Surveying & a Division of A/V/A

DRAWING PHASE: DCK  
OWNER REVIEW: MDH  
AGENCY REVIEW: 5/15/19  
BID DOCUMENT: CB.0-Detals  
FOR CONSTRUCTION: 500B-048  
AS-BUILT DOCUMENT: 500B-048

DRAWN BY: DCK  
CHECKED BY: MDH  
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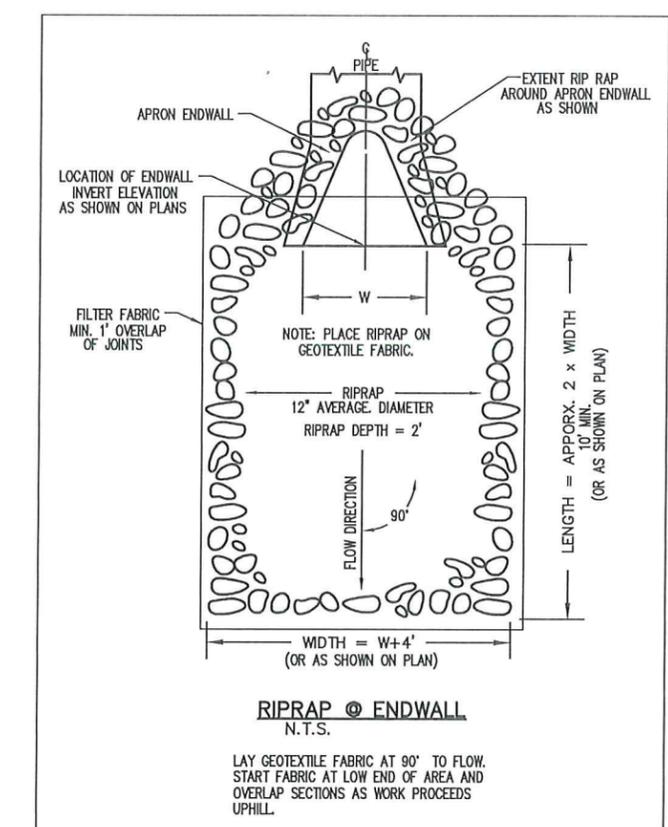
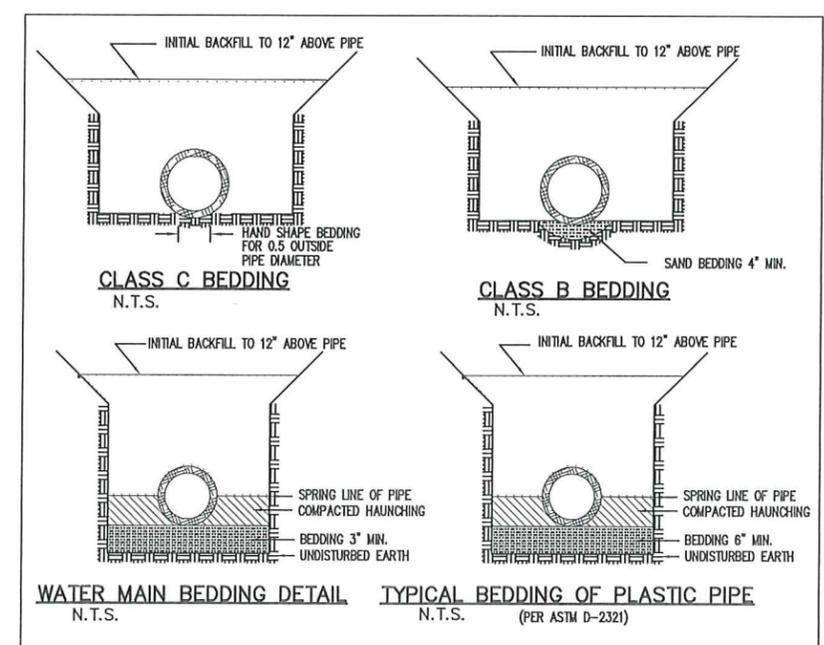
PRELIMINARY PLAT SUBMITTAL: MDH  
REVISION DESCRIPTION: NAME: 6/15/19

SHEET NO. CB.1



**SEED MIXTURES**

Seed Mix Number	Areas of Use	Species	Mixture Proportions %	Seeding Rate
20	Light, dry, well-drained, sandy, or gravelly soils and high cut & fill slopes	Kentucky Bluegrass Hard Fescue Tall Fescue Perennial Ryegrass	6 24 40 30	3 lbs/ 1000 sq.ft OR 130 lbs/acre



**PROJECT:** THE RIDGES 2ND ADDITION  
DCCI  
VILLAGE OF NORTH HUDSON, ST. CROIX COUNTY, WISCONSIN

**SHEET NO.:** C8.2

**DETAILS**

**DATE:** 6/13/19

**PRELIMINARY PLAT SUBMITTAL** MDH

**REVISION DESCRIPTION:** NAME: DATE:

**DRAWING PHASE:** DRAWN BY: CHECKED BY: MDH

**OWNER REVIEW** DATE: 5/16/19

**AGENCY REVIEW** DATE: 5/16/19

**BID DOCUMENT** DWG FILE: C8.0-Details

**FOR CONSTRUCTION** REF FILE: 5008-048

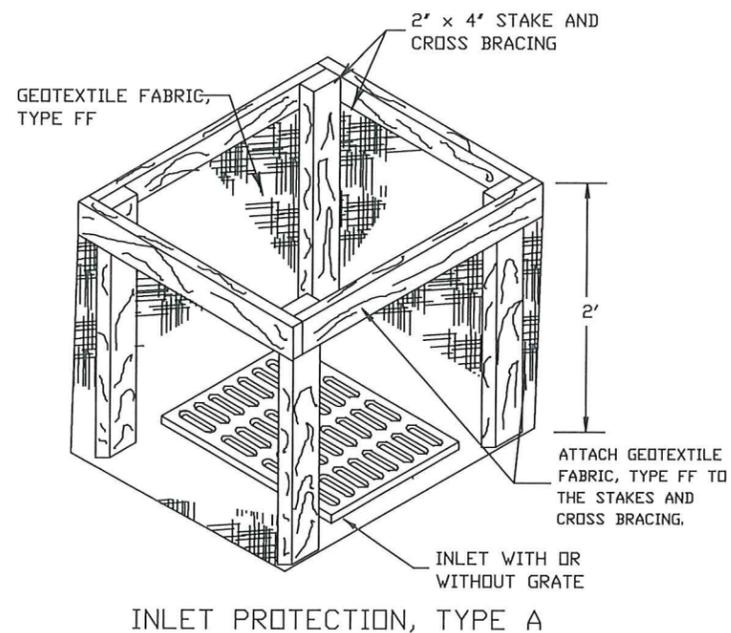
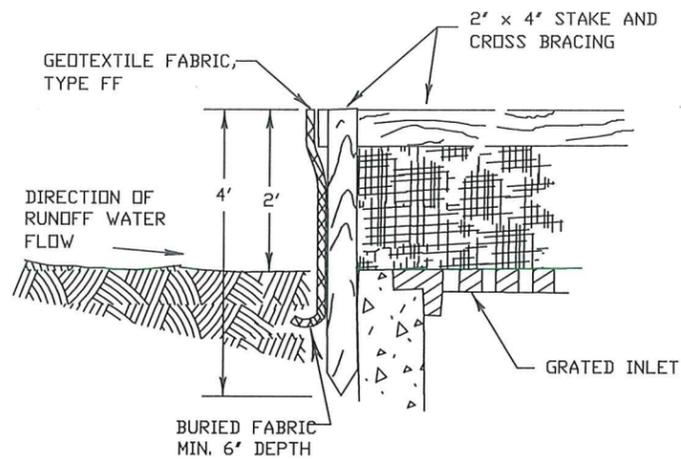
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**BLANCK OFFICE:** 2920 Balcon Street, Suite 101, Hudson, WI 54019, Tel: 715-581-3577

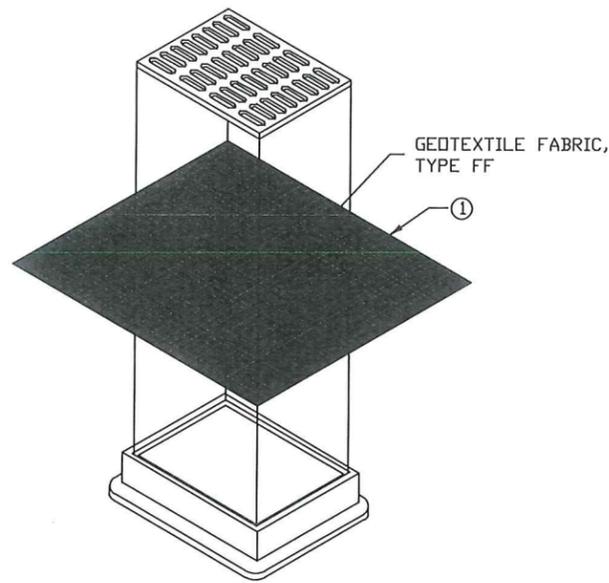
**OPERATE OFFICE:** 408 Technology Drive East, Suite A, Menomonie, WI 54751, Tel: 715-232-4400

**authconsulting.com**

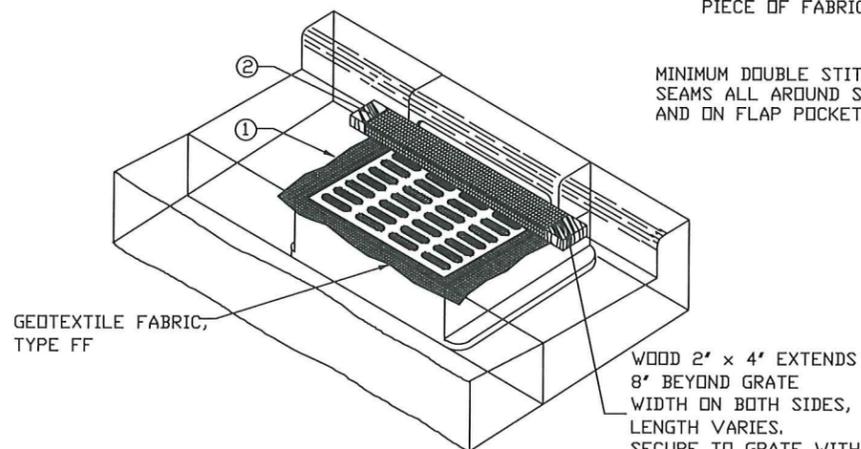
**A.C/a** Auth-Consulting/associates  
Soil Land Surveying & Division of L/C/A



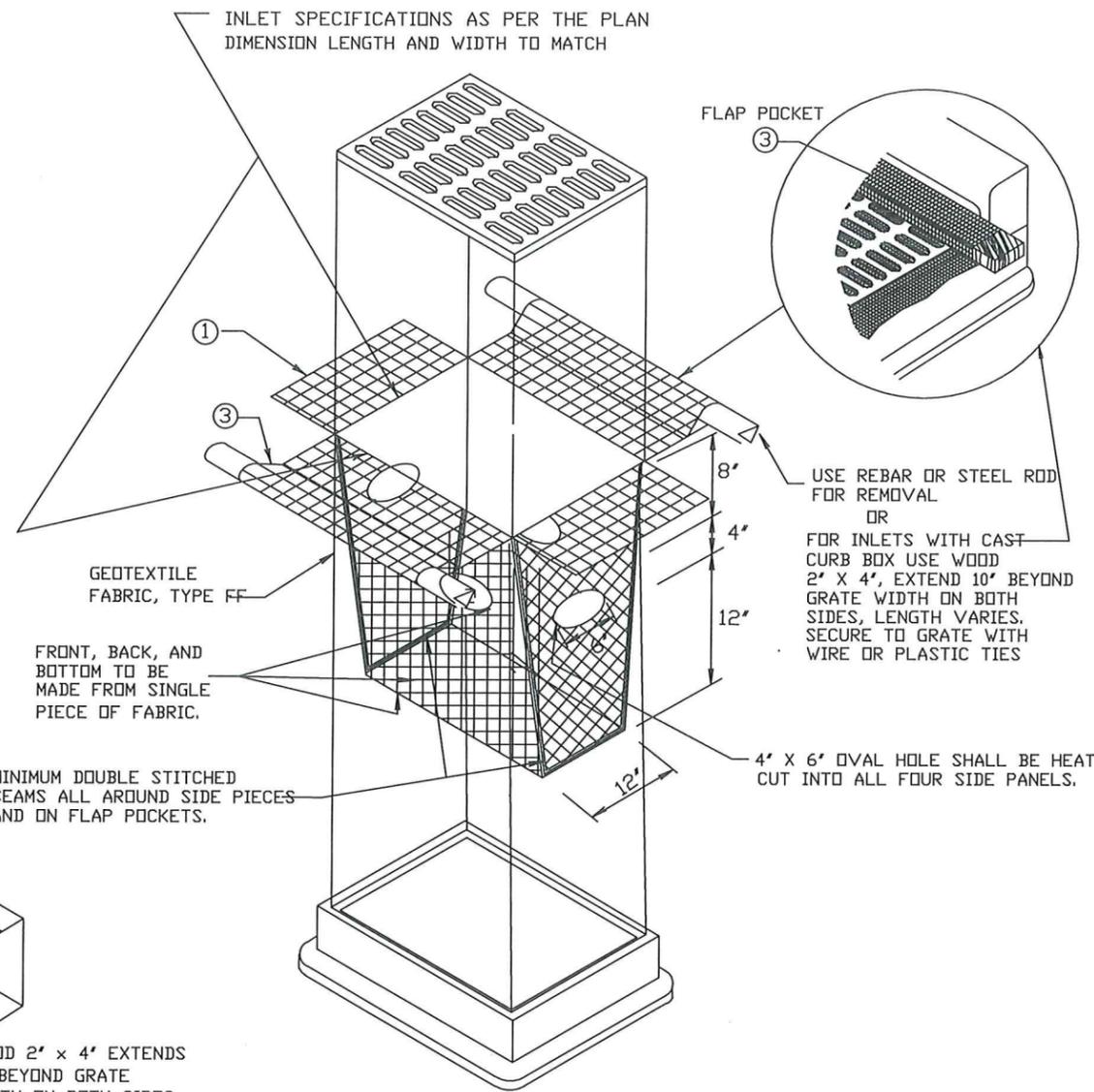
INLET PROTECTION, TYPE A



INLET PROTECTION, TYPE B  
(WITHOUT CURB BOX)  
(CAN BE INSTALLED IN ANY INLET WITHOUT A CURB BOX)



INLET PROTECTION, TYPE C (WITH CURB BOX)



INLET PROTECTION, TYPE D  
(CAN BE INSTALLED IN ANY INLET TYPE WITH OR WITHOUT A CURB BOX AS PER NOTE ②)

GENERAL NOTES

INLET PROTECTION DEVICES SHALL BE MAINTAINED OR REPLACED AT THE DIRECTION OF THE ENGINEER.

MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.

WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

- ① FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10' AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
- ② FOR INLET PROTECTION, TYPE C (WITH CURB BOX), AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.
- ③ FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2X4.

INSTALLATION NOTES

TYPE B & C

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3' OF THE GRATE. THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.

TYPE D

DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30", MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE. TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3' OF THE GRATE.

THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY THE CONTRACTOR SHALL CINCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4' FROM THE BOTTOM OF THE BAG.

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SHEET NO.:		C8.3														
PROJECT:		VILLAGE OF NORTH HUDSON, ST. CROIX COUNTY, WISCONSIN														
PROJECT:		DCCI														
PROJECT:		DETAILS														

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 400 Technology Drive East  
 Suite A  
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 Tel: 715-282-6600  
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**A.C/a**  
 Auth-Consulting/associates  
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